

Planning Department, January 6, 2021

APPLICANT: Laurelei, LLC

DEVELOPER: Same

PROJECT: NA

LOCATION: Parcel ID 36067-012, 4 Peabody Road Annex

PURPOSE: The purpose of this site plan is to construct a 17,820 SF commercial contractor bays building located in the General Commercial District.

TOWN DEPARTMENT SIGNATURES: All town departments have reviewed and signed the plan.

WAIVERS: None Requested.

STATE PERMITS: NA.

RECOMMENDATION: Staff would recommend approval of the site plan application.

BY:

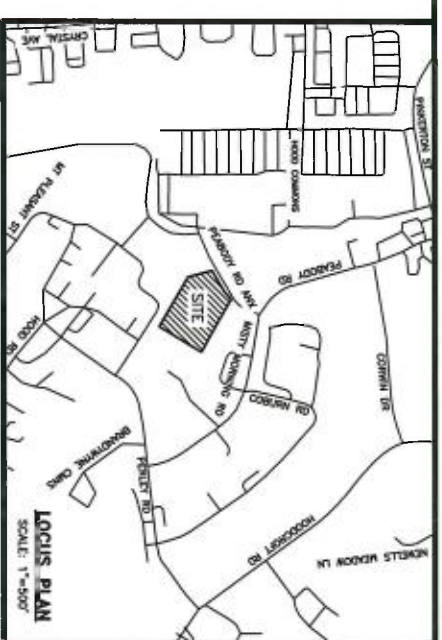


George H. Sioras, Planning Director

PEABODY ROAD CONTRACTOR BAYS

SITE PLAN

PEABODY ROAD ANNEX
DERRY, NEW HAMPSHIRE

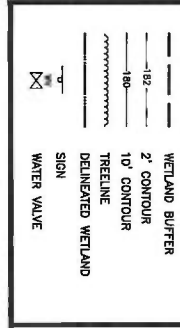
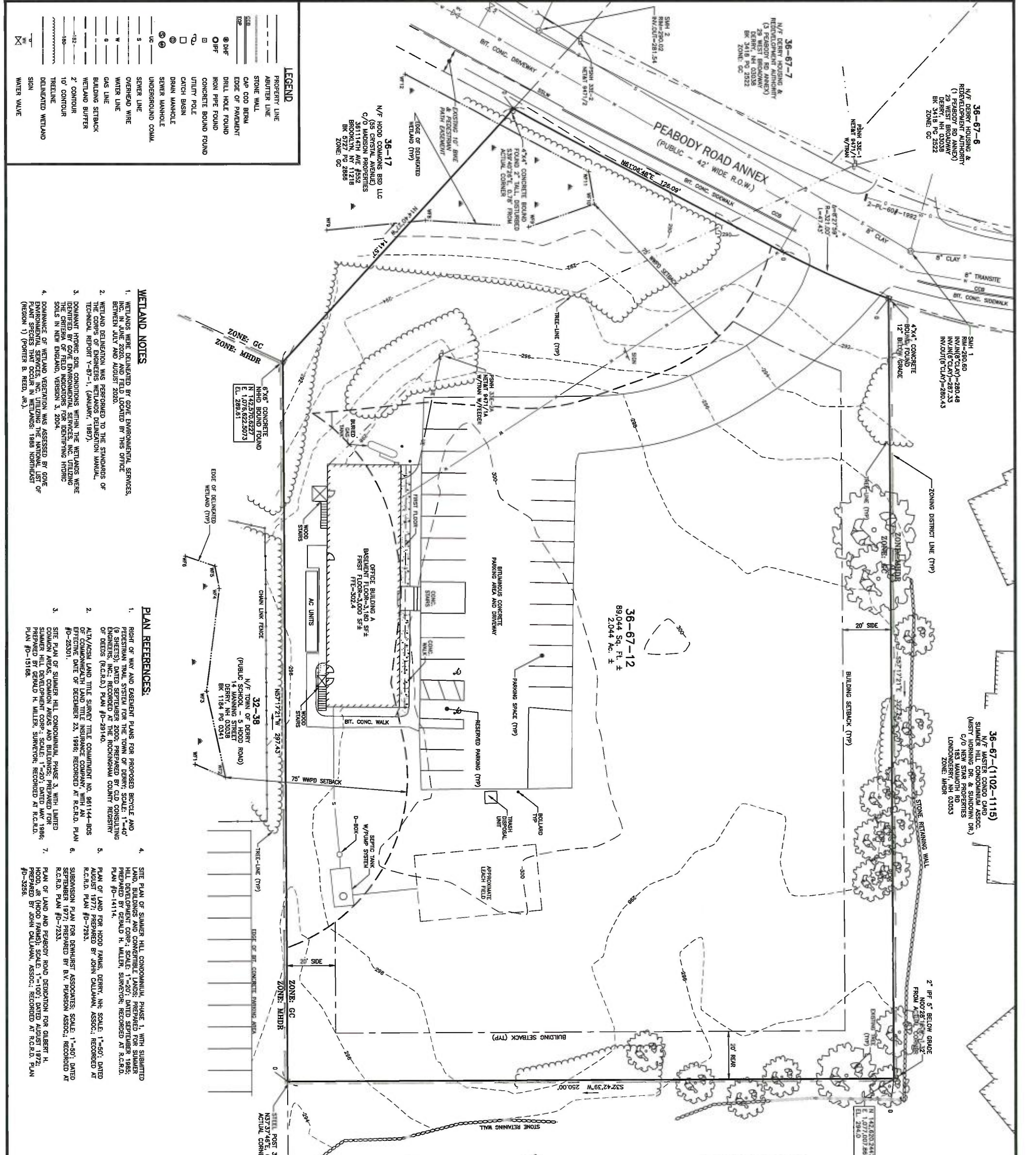


SHEET INDEX

- 1 Title Sheet
- 2 Existing Conditions Plan
- 3 Site Preparation Plan
- 4 Site Layout Plan
- 5 Grading, Drainage, & Utility Plan
- 6 Erosion Control Plan
- 7-8 Landscape Plans & Details
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- 10 Lot Coverage Calculations
- 11-15 Site Details

TOWN OF DERRY SIGNATURE BLOCK	DATE
PUBLIC WORKS DIRECTOR	DATE
CODE ENFORCEMENT OFFICER	DATE
FIRE DEPARTMENT	DATE
CONSERVATION COMMISSION CHAIR	DATE
POLICE DEPARTMENT	DATE
OWNER'S SIGNATURE	DATE
THE DERRY N.H. PLANNING BOARD	DATE
ON DATE: _____	DATE
CERTIFIED BY: _____	DATE
CHAIRMAN	DATE
SECRETARY	DATE

<p>The Dubai Group, Inc. 135 Ilwaco Rd, Bldg 1103 Lundonderry, NH 03053 603-458-6462</p> <p>Engineers Planners Surveyors</p> <p>TheDubaiGroup.com</p>		DRAWN BY: SJK CHECKED BY: DGM DATE: OCTOBER 22, 2020 SCALE: NONE FILE: 457-COVER DEED REF: _____	PROJECT: PEABODY ROAD CONTRACTOR BAYS TAX MAP 36, LOT 67-12 4 PEABODY ROAD ANNEX DERRY, NH 03038	FOR: LAURALEE, LLC 4 MULBERRY ST WINDHAM, NH 03087	SHEET TITLE: TITLE SHEET	PROJECT #457 SHEET 1 of 15																					
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WETLAND NOTES

1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN JUNE 2020 AND FIELD LOCATED BY THIS OFFICE BETWEEN JULY AND AUGUST 2020.
2. WETLAND DELINEATION WAS PREPARED TO THE STANDARDS OF TECHNICAL REPORT 1-87-1, (JANUARY, 1987).
3. DOMINANT TERRESTRIAL CONDITIONS WITHIN THE WETLANDS WERE OBSERVED AND IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. IN JUNE 2020. THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HISTORIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, 1988 NORTHEAST (REGION 1) (PORTER & REED, JR.).

PLAN REFERENCES:

1. RIGHT OF WAY AND EASEMENT PLANS FOR PROPOSED BI-CYCLE AND PEDESTRIAN TRAIL SYSTEM FOR THE TOWN OF DERRY, SCALE: 1"=40' (ENGINEERS, INC.; RECORDED AT THE ROCKINGHAM COUNTY REGISTER'S OFFICE (R.C.R.D.) PLAN #D-29140.
2. ALTA/ASIM LAND TITLE SURVEY TITLE COMMITMENT NO. 961144-B05 OF COMMONWEALTH LAND TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF DECEMBER 23, 1986; RECORDED AT R.C.R.D. PLAN #D-25301.
3. SITE PLAN OF SUMMER HILL CONDOMINIUM, PHASE 3, WITH LIMITED COMMON AREAS, COMMON AREAS AND BUILDINGS, PREPARED FOR SUMMER HILL DEVELOPMENT CORP., SCALE: 1"=20', DATED MAY 1986; PREPARED BY JOHN DALLAN, ASSOC.; RECORDED AT R.C.R.D. PLAN #D-15186.
4. SITE PLAN OF SUMMER HILL CONDOMINIUM, PHASE 1, WITH SUBMITTED LAND, BUILDINGS AND CONVERTIBLE LOTS; PREPARED FOR SUMMER HILL DEVELOPMENT CORP., SCALE: 1"=20', DATED MAY 1986; PREPARED BY JOHN DALLAN, ASSOC.; RECORDED AT R.C.R.D. PLAN #D-14114.
5. PLAN OF LAND FOR HOOD FARMS, DERRY, NH; SCALE: 1"=50', DATED AUGUST 1977; PREPARED BY JOHN DALLAN, ASSOC.; RECORDED AT R.C.R.D. PLAN #D-7283.
6. SUBDIVISION PLAN FOR DENHURST ASSOCIATES; SCALE: 1"=50', DATED SEPTEMBER 1977; PREPARED BY B.V. PEARSON ASSOC.; RECORDED AT R.C.R.D. PLAN #D-7233.
7. PLAN OF LAND AND PEABODY ROAD DEDICATION FOR GILBERT H. HOOD, JR. (HOOD FARMS); SCALE: 1"=100', DATED AUGUST 1972; PREPARED BY JOHN DALLAN, ASSOC.; RECORDED AT R.C.R.D. PLAN #D-3256.

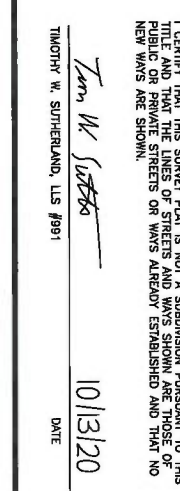
LAND SURVEYORS CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN SEPTEMBER, 2020 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF NEW WAYS ARE SHOWN.

Tom W. Suterland
 TINSLEY W. SUTERLAND, LLS #991

10/13/20
 DATE



NOTES:

1. OWNER OF RECORD: (MAP 36 LOT 67-12)
2. LAURALEI LLC
 4 MULBERRY STREET
 WINDHAM, NH 03093
 SOURCE OF TITLE: BK. 5729 PG. 2154
3. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS FOR LOT 67-12. BOUNDARY INFORMATION SHOWN HEREON IS BASED ON THE SURVEY DATA PROVIDED TO THIS OFFICE IN SEPTEMBER 2020.
4. HORIZONTAL DATUM IS REFERENCED TO NAD83 (NAD83) VERTICAL DATUM IS REFERENCED TO NAVD83 (NAVD83) BASED ON GROUND TAKEN DURING THE MONTH OF SEPTEMBER 2020.
5. LOT 67-12 IS ZONED GENERAL COMMERCIAL (GC) PER THE CURRENT TOWN OF DERRY ZONING MAP.
6. MINIMUM LOT FRONTAGE: 125FT
 MINIMUM FRONT YARD: 35FT
 MINIMUM SIDE YARD: 20FT
 MINIMUM REAR YARD: 25FT
 WETLAND SETBACK: 75FT
7. SUBJECT PARCEL IS NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA (100 YEAR FLOODPLAIN) PER FIRM MAP 330100039E WITH AN EFFECTIVE DATE OF MAY 17, 2005.
8. THE LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ON THIS PLAN IS APPROXIMATE ONLY.
9. WETLANDS AS SHOWN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC., IN SEPTEMBER 2020 AND LOCATED BY THIS OFFICE.
10. SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER.
11. PEABODY ROAD ANNEX IS A CLASS V PUBLIC WAY, FORT-TWO (42) FEET IN WIDTH, DEDICATED TO THE TOWN OF DERRY SEPTEMBER 1972.

The Dubay Group, Inc.
 136 Harvey Rd, Bldg 3101
 Londonderry, NH 03053
 603-458-6462

Engineers
 Planners
 Surveyors

TheDubayGroup.com

NO. 951
 LAND SURVEYOR
 SUTERLAND
 Tom W. Suterland
 LLS #991

REVISIONS:

REV.	DATE	COMMENT	BY:
1	1/24/20	NEWS PER COMMENTS SK	

DRAWN BY: NAW
 CHECKED BY: THIS
 DATE: OCTOBER 22, 2020
 SCALE: 1"=20'
 FILE: 457ws
 DEED REF: BK 5729 PAGE 2154

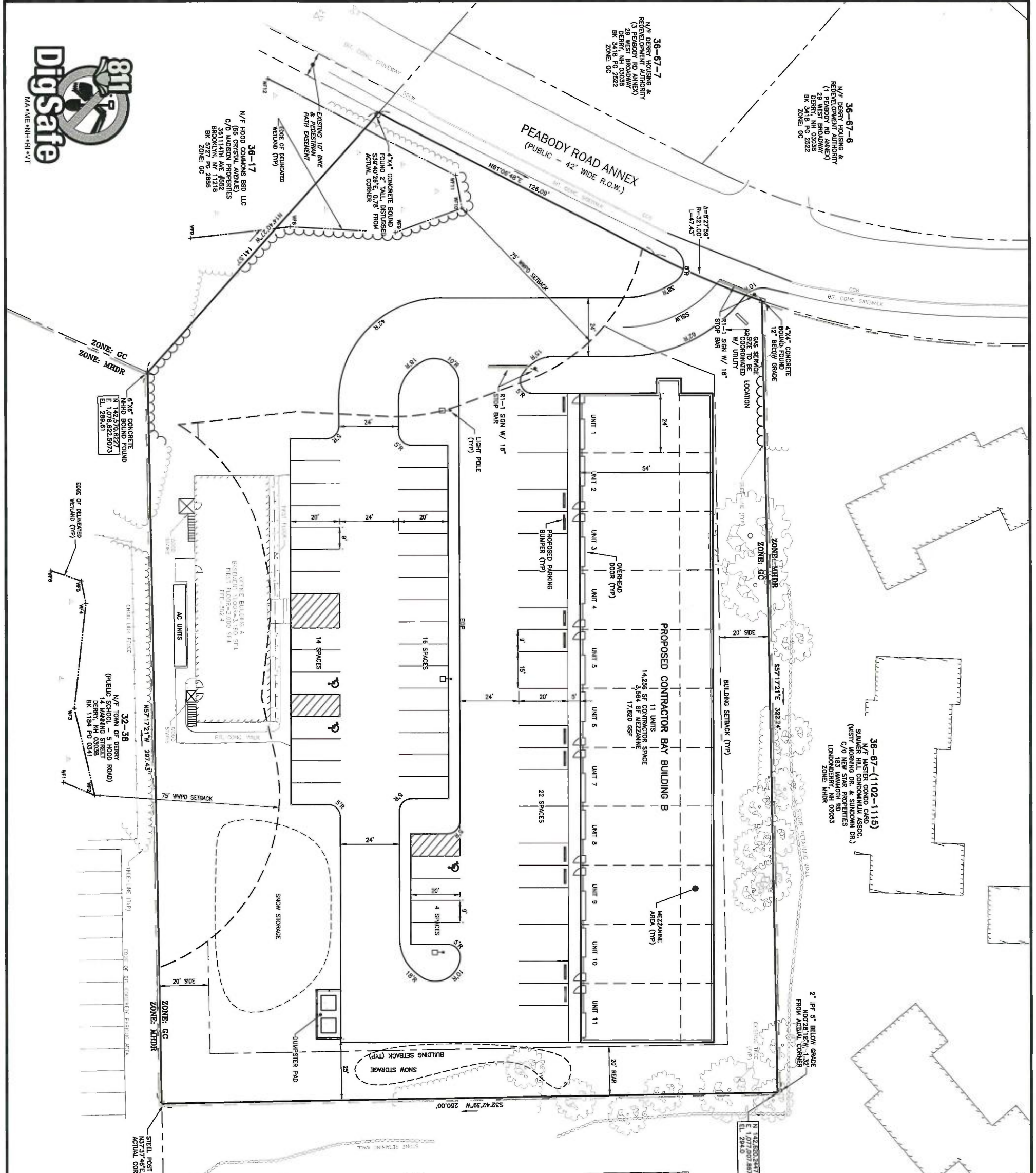
PROJECT:
PEABODY ROAD ANNEX CONTRACTOR BAYS

TAX MAP 36, LOT 67-12
 4 PEABODY ROAD ANNEX
 DERRY, NH 03038

FOR:
 LAURALEI, LLC
 4 MULBERRY ST
 WINDHAM, NH 03087

EXISTING
 CONDITIONS PLAN

SHEET TITLE:
 SHEET NO.:
 PROJECT #457 SHEET 2 OF 15



- GENERAL NOTES:**
- OWNER OF RECORD: MAP 36 LOT 67-12, 86,042 SF (2.04 AC), LAURALEI LLC, 4 MULBERRY STREET, WINDHAM, NH 03087
 - THE PURPOSE OF THIS PLAN IS TO CONSTRUCT 11 COMMERCIAL CONTRACTOR BAY UNITS WITH SUPPORTING INFRASTRUCTURE AND UPDATE THE EXISTING PARKING LOT OF THE EXISTING OFFICE BUILDING.
 - THE SUBJECT PARCEL IS ZONED GENERAL COMMERCIAL (GC), AND TOWN SEWER.
 - ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF DERRY REGULATIONS, ALL PARKING, STRUCTURES, AND DRAINAGE TO MEET TOWN OF DERRY SPECIFICATIONS.
 - ZONING REQUIREMENTS:
MINIMUM LOT AREA = 30,000 SF (PROVIDED)
MINIMUM FRONTAGE = 125' - (PROVIDED)
FRONT SETBACK = 35' - (PROVIDED)
SIDE SETBACK = 20' - (PROVIDED)
REAR SETBACK = 20' - (PROVIDED)
 - PARKING REQUIREMENTS:
EXISTING OFFICE BUILDING = 6,180 GSF X (1 SPACE/200 GSF) = 21 SPACES REQUIRED
30 SPACES PROVIDED
PROPOSED CONTRACTOR SPACE = 14,256 GSF (1SPACE/200 GSF) = 12 SPACES REQUIRED
PROPOSED OFFICES = 3,564 GSF (1 SPACE/200 GSF) = 12 SPACES REQUIRED
TOTAL SPACES REQUIRED = 24 SPACES
TOTAL SPACES PROVIDED = 26 SPACES
 - THE TOTAL AREA OF THE PARCEL TO BE DISTURBED BY SITE PREPARATION ACTIVITIES IS 15 SHEETS. THE FULL SET OF PROJECT PLANS IS ON FILE AT THE DERRY PLANNING DEPT.
 - SNOW AND ICE CONTROL SHALL BE PERFORMED BY A "GREEN SNO-PRO" CERTIFIED CONTRACTOR FOLLOWING BEST MANAGEMENT PRACTICES FOR THE APPLICATION OF DE-ICING MATERIALS. IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CAPACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LEGAL DISPOSAL SITE. SEE SNOW STORAGE AREAS ON THIS PLAN.
 - THIS PLAN SET CONTAINS A TOTAL OF 15 SHEETS. THE FULL SET OF PROJECT PLANS IS ON FILE AT THE DERRY PLANNING DEPT.
 - ALL CATCH BASINS & DRAINAGE SYSTEMS SHALL BE CLEANED OF DEBRIS TWICE PER YEAR & INSPECTED TO MAKE SURE THEY ARE OPERATING AS DESIGNED. THE TIME OF REMOVAL OF DEBRIS SHOULD BE IN THE SPRING AND FALL SEASONS.
 - SEE ARCHITECTURAL PLANS FOR DETAILS AND OTHER FEATURES AT THE BUILDINGS. CONTRACTOR TO PERFORM THIS WORK AS DIRECTED BY THE OWNER.
 - THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. THE DUBAY GROUP, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL UTILITIES AND HAZARDOUS DIS-SAFE TO CONFIRM UTILITY LOCATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ANY SAFETY SYSTEMS THAT MAY NOW OR IN THE FUTURE BE INCORPORATED INTO THESE PLANS. THE CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SHEET PILES AS DEEMED NECESSARY BY THE TOWN INSPECTOR.

The Dubay Group, Inc.
136 Harvey Rd, Bldg 3101
Londonderry, NH 03059
603-458-6462

Engineers
Planners
Surveyors
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REV.	DATE	COMMENT	BY
1	11/29/20	REVS PER COMMENTS	SKK

REVISIONS:

DRAWN BY: SKK
DATE: OCTOBER 22, 2020
SCALE: 1"=20'
FILE: 457-GU
DEED REF:

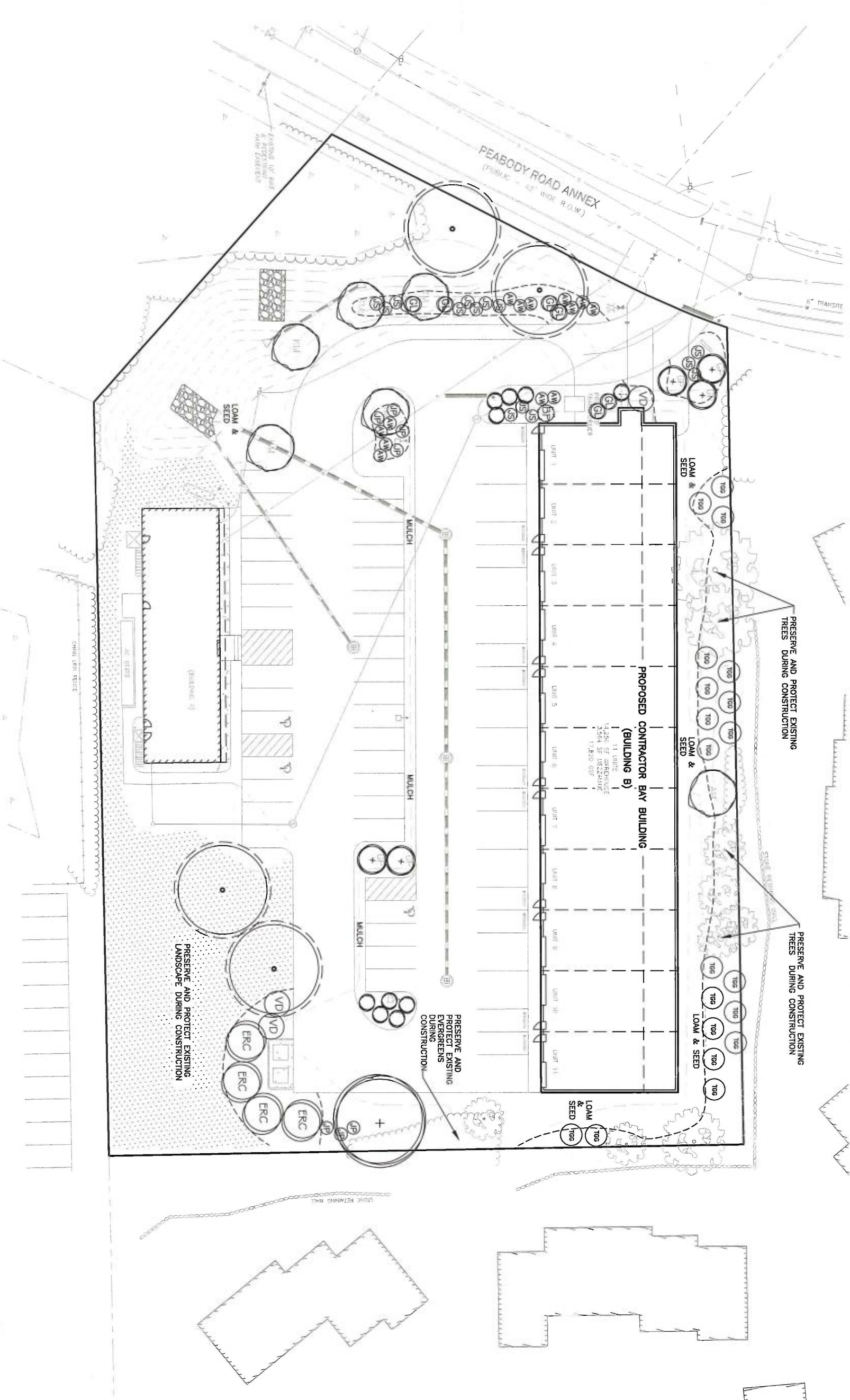
PROJECT: **PEABODY ROAD CONTRACTOR BAYS**

TAX MAP 36, LOT 67-12
4 PEABODY ROAD ANNEX
DERRY, NH 03038

FOR: **LAURALEI, LLC**
4 MULBERRY ST
WINDHAM, NH 03087

SHEET TITLE: **SITE LAYOUT PLAN**

PROJECT #457 SHEET 4 OF 15



SECTION 170-64 LANDSCAPE AND BUFFERING REQUIREMENTS

LANDSCAPE STANDARDS

1. A STREET TREE STRIP, 15-FEET IN WIDTH, RUNNING PARALLEL TO THE FRONTAGE WITH A MINIMUM OF ONE INDIGENOUS SHADE TREE - MINIMUM CALIPER OF 2.5 INCHES FOR EACH 50 FEET OF STREET FRONTAGE. STREET TREES SHALL BE PLANTED NOT CLOSER THAN 25 FEET TO ONE ANOTHER.
2. A MINIMUM OF ONE DECIDUOUS OR ORNAMENTAL TREE, WITH A MINIMUM CALIPER OF 2.5" PER 50 FEET OF BUILDING PERIMETER SHALL BE PLANTED WITHIN THE DEVELOPED PORTION OF ANY SITE. PROPOSED BUILDING PERIMETER = 636 LF / 30 = 21.2 OR 21 TREES REQUIRED EXISTING & 12 PROPOSED
3. A MINIMUM OF ONE DECIDUOUS OR EVERGREEN SHRUB, WITH A MINIMUM HEIGHT AND DIAMETER OF 18 INCHES PER TWO REQUIRED PARKING SPACE
- 27 PARKING SPACES PROPOSED 26 / 2 = 13 SHRUBS REQUIRED - 13 SHOWN EXISTING PAVED PARKING = 30 SPACES / 2 = 15 SHRUBS REQUIRED - 15 SHOWN

4. AT LEAST 25% OF TREES AND SHRUBS REQUIRED UNDER THIS SECTION SHALL BE PLANTED WITHIN CURBED, RAISED LANDSCAPED ISLANDS SITUATED WITHIN PARKING AREAS OR OTHER PAVED AREAS OF ANY SITE.
5. HEALTHY DECIDUOUS TREES HAVING A DIAMETER OF AT LEAST 8 INCHES AT BREAST HEIGHT MAY BE PRESERVED AND USED TO FULFILL THE MINIMUM TREE PLANTING REQUIREMENTS.

- C. RESIDENTIAL BUFFERING REQUIREMENTS**
1. ALL NON-RESIDENTIAL AND MULTI-FAMILY RESIDENTIAL SITES, WHICH ADJUT A RESIDENTIAL DISTRICT BOUNDARY SHALL PROVIDE FOR A RESIDENTIAL BUFFER CONFORMING WITH THE REQUIREMENTS OF THIS SECTION.
 2. RESIDENTIAL BUFFER DIMENSIONS, A CONTINUOUS RESIDENTIAL BUFFER, OF A WIDTH AND COMPOSITION CONFORMING WITH THE REQUIREMENTS OF THIS SECTION, SHALL BE PROVIDED ALONG APPLICABLE ZONING DISTRICTS.
 3. DESIGN REQUIREMENTS FOR RESIDENTIAL BUFFERS.

1. PLANTED BUFFER - A TREED BUFFER THROUGH THE PLANTING OF A MINIMUM OF TWO STAGGERED ROWS OF CONIFEROUS TREES SPACED NOT FURTHER THAN 12- FEET ON CENTER AND NOT LESS THAN EIGHT FEET IN HEIGHT AT THE TIME OF PLANTING IS PROPOSED WITH EXISTING TREES TO REMAIN.

C. SCREENING OF UNSIGHTLY SITE FEATURES

1. SCREENING REQUIREMENTS, GENERAL, REFUSE STORAGE AREAS, STOCKPILED MATERIALS AND OTHER UNSIGHTLY MATERIALS AND OBJECTS SITUATED ON ANY NON-RESIDENTIAL OR MULTI-FAMILY RESIDENTIAL SITE SUBJECT TO REVIEW AND APPROVAL UNDER THESE REGULATIONS SHALL BE LOCATED SO AS TO BE OUT OF VIEW FROM ADJUTING PROPERTIES AND PUBLIC STREETS WHERE POSSIBLE. IN CASES WHERE SUCH POSITIONING IS NOT POSSIBLE, THOSE ITEMS SHALL BE EFFECTIVELY SCREENED. A MINIMUM SCREENING SHALL BE ACHIEVED BY USE OF LANDSCAPE PLANTINGS, FENCING OR ENCLOSURES OF A HEIGHT AT LEAST AS TALL AS THE ITEM OR ITEMS TO BE SCREENED.
2. SCREENING REQUIREMENTS FOR LOADING AND RECEIVING AREAS, LOADING DOCKS AND RECEIVING AREAS SHALL BE SITUATED SO AS TO BE OUT OF VIEW FROM ADJUTING PROPERTIES AND PUBLIC STREETS WHERE POSSIBLE. WHERE SUCH PROVISIONS ARE NOT POSSIBLE, THE APPLICANT SHALL PROPOSE A METHOD OF SCREENING AND BUFFERING ACCEPTABLE TO THE PLANNING BOARD.



MA-NH-NH-R1-VT
THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. WE MAKE NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-899-DIG-SAFE.

The Dubay Group, Inc.
136 Harvey Rd, Bldg 8101
Londonderry, NH 03059
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com

1 INCH = 20 FEET

REV	DATE	COMMENT	BY
1	11/24/20	REVISIONS PER COMMENTS REK	REK

DRAWN BY: REK
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PROJECT: **PEABODY ROAD CONTRACTOR BAYS**

TAX MAP 36, LOT 67-12
4 PEABODY ROAD ANNEX
DERRY, NH 03038

FOR: **LAURALEE, LLC**
4 MULBERRY ST
WINDHAM, NH 03087

SHEET TITLE: **LANDSCAPE PLAN**

PROJECT #457 SHEET 7 of 15