

**Planning Department June 7, 2023**

APPLICANT: F. Donald Ball Irrevocable Trust  
Douglas Ball, Trustee

DEVELOPER: Same

PROJECT: Ball Farm Heights

LOCATION: Parcel ID 11090, 53 English Range Road

PURPOSE: The purpose of this plan is for a three-lot subdivision located in the Low-Density Residential District (3-acre lot size). On February 2, 2023, the ZBA granted a variance for less than the required frontage for this zone. (200 feet road frontage).

TOWN DEPARTMENT SIGNATURES: All town departments have reviewed and signed the plan.

WAIVERS: See letter dated May 17, 2023, from Meisner Brem Corporation.  
LDCR-Section 170-25.G. Monumentation.

STATE PERMITS: NHDES state subdivision approval obtained. (Copy in file).

RECOMMENDATION: Staff would recommend approval of both the waiver request and the subdivision plan.

BY:

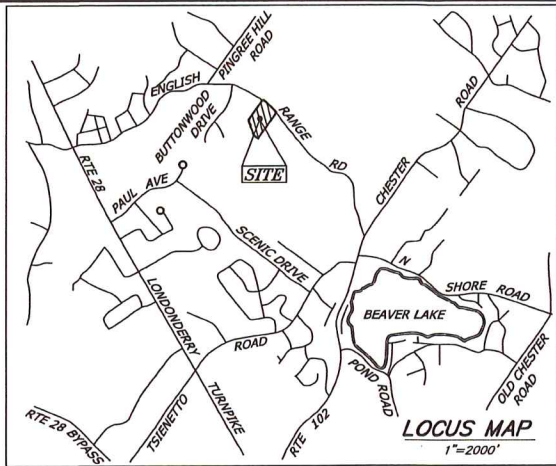
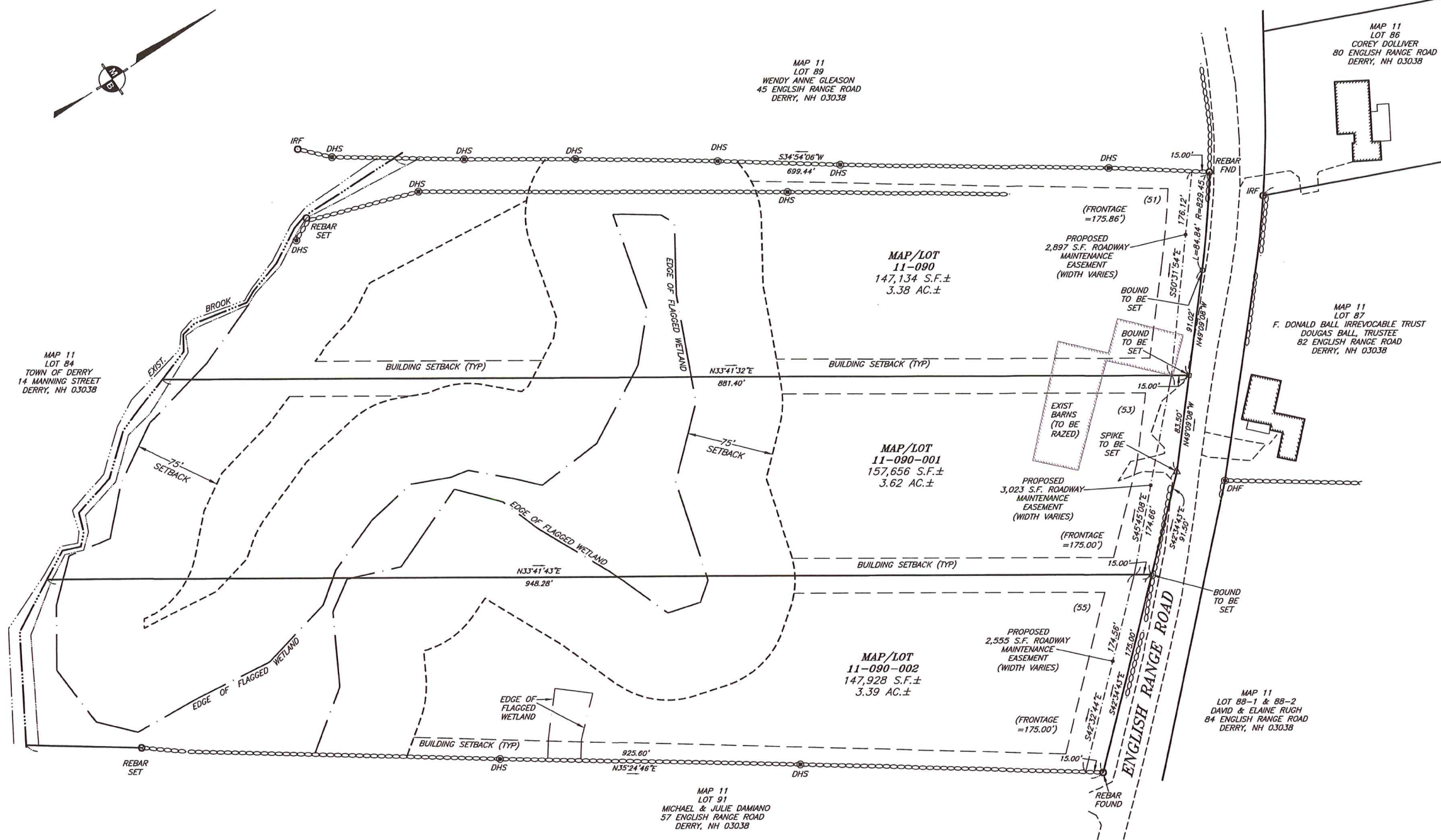


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George H. Sioras, Planning Director

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- NOTES**
1. THE PURPOSE OF THIS PLAN IS TO OBTAIN SUBDIVISION APPROVAL FOR 3 SINGLE FAMILY RESIDENTIAL LOTS ON MAP/LOT 11-090
  2. PRESENT ZONING: LDR - LOW DENSITY RESIDENTIAL
  3. ORIGINAL LOT SIZE: 10.2 AC.±
  4. MINIMUM LOT SIZE REQUIRED: 3 ACRES OR LARGER
  5. MINIMUM BUILDING SETBACKS: FRONT = 35 FEET, SIDE & REAR = 15 FEET
  6. NO PORTION OF THE SUBJECT PREMISES FALLS WITHIN 100 YEAR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBERS J3015C0341E DATED MAY 17, 2005.
  7. PROPERTIES TO BE SERVICED BY INDIVIDUAL WELLS AND SEPTIC SYSTEMS.
  8. BOUNDARY INFORMATION WAS COMPILED FROM PLAN REFERENCES LISTED AND AN ON-SITE TRANSIT SURVEY BY MEISNER BREM CORPORATION SEPTEMBER AND OCTOBER OF 2022.
  9. ELEVATIONS DEPICTED HEREON ARE BASED ON NVGD29 PER GPS OBSERVATIONS BY THIS OFFICE ON SEPTEMBER 27, 2022, BEING TIED TO "MASSCORS" USING BASE STATION "WES2" WITH AN ELEVATION LISTED AT 374.18' (CONVERTED TO NGVD USING VERTCON).
  10. SHEET 2 SHALL BE RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS UPON APPROVAL BY THE DERRY PLANNING BOARD. ALL SHEETS WHICH CONSTITUTE THE APPLICATION APPROVED BY THE DERRY PLANNING BOARD SHALL BE ON FILE AT THE DERRY PLANNING DEPARTMENT.
  11. ALL NEW DRIVEWAYS SHALL BE BUILT IN ACCORDANCE WITH SECTION 170-26A.16(a-c) OF THE DERRY LAND DEVELOPMENT CONTROL REGULATIONS (LDCR).
  12. NEW LOTS SHALL BE VOLUNTARILY EQUIPPED WITH A FIRE SUPPRESSION SPRINKLER SYSTEM, CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE CODES (NFPA 13R & 130). ALL NEW LOTS SHALL COMPLY WITH THE GUIDELINES OF LDCR 170-30 IN REFERENCE TO FIRE PROTECTION/SUPPRESSION.
  13. ALL NEW LOTS TO BE SERVICED BY UNDERGROUND UTILITIES. LOCATION TO BE DETERMINED BY EVERSOURCE AND NOT TO CONFLICT WITH DRAINAGE OR WETLANDS. NEW POLES, IF NECESSARY, RECOMMENDED ARE TO BE LOCATED AT OR NEAR PROPERTY CORNERS.
  14. ENGLISH RANGE ROAD IS A SCENIC ROAD, POSTED 30 MPH.
  15. BRUSH, TREES AND STONEWALLS WILL BE REMOVED TO OBTAIN ADEQUATE SIGHT DISTANCE.

**LAND OWNER OF RECORD:**  
F. DONALD BALL IRREVOCABLE TRUST, DOUGLAS BALL, TRUSTEE  
82 ENGLISH RANGE ROAD  
DERRY, NH 03038  
BK: 5837 PG: 1704

DOUGLAS BALL, TRUSTEE		DATE	
2			
1			

NO.	DATE	REVISION	BY
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**BALL DEFINITIVE RESIDENTIAL SUBDIVISION PLAN**

53 ENGLISH RANGE ROAD  
DERRY, NEW HAMPSHIRE  
MAP/LOT 11-090

PREPARED FOR:  
**F. DONALD BALL IRREVOCABLE TRUST**  
**DOUGLAS BALL, TRUSTEE**  
82 ENGLISH RANGE ROAD  
DERRY, NH 03038

PREPARED BY:  
**MEISNER BREM CORPORATION**  
202 MAIN STREET, SALEM, NH 03079 (603) 893-3301  
142 LITTLETON ROAD, SUITE 16, WESTFORD, MA 01886 (978) 692-1373

SCALE: 1"=50' SHEET: 2 OF 4 MARCH 6, 2023

APPROVED BY THE TOWN OF DERRY PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE

- LEGEND**
- STONEWALL
  - EDGE OF FLAGGED WETLAND
  - EDGE OF PAVEMENT
  - IPF IRON PIPE FOUND
  - REBAR SET REBAR SET
  - DHS DRILL HOLE SET
  - TBS IRON ROD TO BE SET

NOTICE OF DECISION FROM ZONING BOARD OF ADJUSTMENT  
CASE # 23-101 DATE: JANUARY 19, 2023

A VARIANCE TO THE TERMS OF ARTICLE VI, SECTION 165-48.B.2 & 3 OF THE TOWN OF DERRY ZONING ORDINANCE HAS BEEN GRANTED. THIS BEING THE DECISION OF THE MAJORITY OF THE APPOINTED MEMBERS OF THE ZONING BOARD OF ADJUSTMENT BY A VOTE OF YES 5 NO 0.

PROPERTY LOCATION : 53 ENGLISH RANGE ROAD PARCEL ID: 11090

PURPOSE: THE APPLICANTS ARE REQUESTING A VARIANCE TO THE TERMS OF ARTICLE VI, SECTION 165-48.B.2 & 3 OF THE TOWN OF DERRY ZONING ORDINANCE TO ALLOW THE PROPERTY TO BE SUBDIVIDED INTO 3 RESIDENTIAL LOTS WITH EACH LOT HAVING LESS THAN THE REQUIRED FRONTAGE AND LOT WIDTH. PROPOSED FRONTAGES ARE 175 FEET, 175 FEET AND 175.86 FEET WHERE 200 FEET IS REQUIRED AT 53 ENGLISH RANGE ROAD, PARCEL ID 11090, ZONED LDR AS PRESENTED WITH THE FOLLOWING CONDITIONS:

1. SUBJECT TO OBTAINING ALL STATE & TOWN PERMITS AND INSPECTIONS.
2. SUBJECT TO TRC REVIEW AND PLANNING BOARD APPROVAL.
3. STONEWALL ALTERATIONS ONLY FOR DRIVEWAY ACCESS WIDTH.

**PLAN REFERENCE**

1. BOUNDARY PLAN, ENGLISH RANGE ROAD DERRY, NEW HAMPSHIRE PREPARED FOR DONALD & MARILYN BALL, PREPARED BY MAYNARD & PAQUETTE, INC. SCALE: 1"=100', DATED: APRIL 1, 1988. RECORDED AT THE RCRD AS PLAN #10-18003.

I CERTIFY THAT THE FIELD WORK NECESSARY FOR THE PREPARATION OF THIS PLAN HAS AN ERROR OF CLOSURE NO GREATER THAN 1 PART IN 10,000.

KURT D. MEISNER L.L.S. #732

