

LEGEND:

- CONC BOUND w/DRILL HOLE (FOUND)
- REBAR/OR IRON PIPE (FOUND)
- DRILL HOLE FOUND
- BOUND TO BE SET
- REBAR OR DRILL HOLE TO BE SET
- PROPERTY LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- UTILITY POLE w/ GUY WIRE
- WELL
- STONEWALL
- EOP
- EDGE OF PAVEMENT
- EDGE OF WETLAND
- EXISTING STRUCTURE

SHEET INDEX:

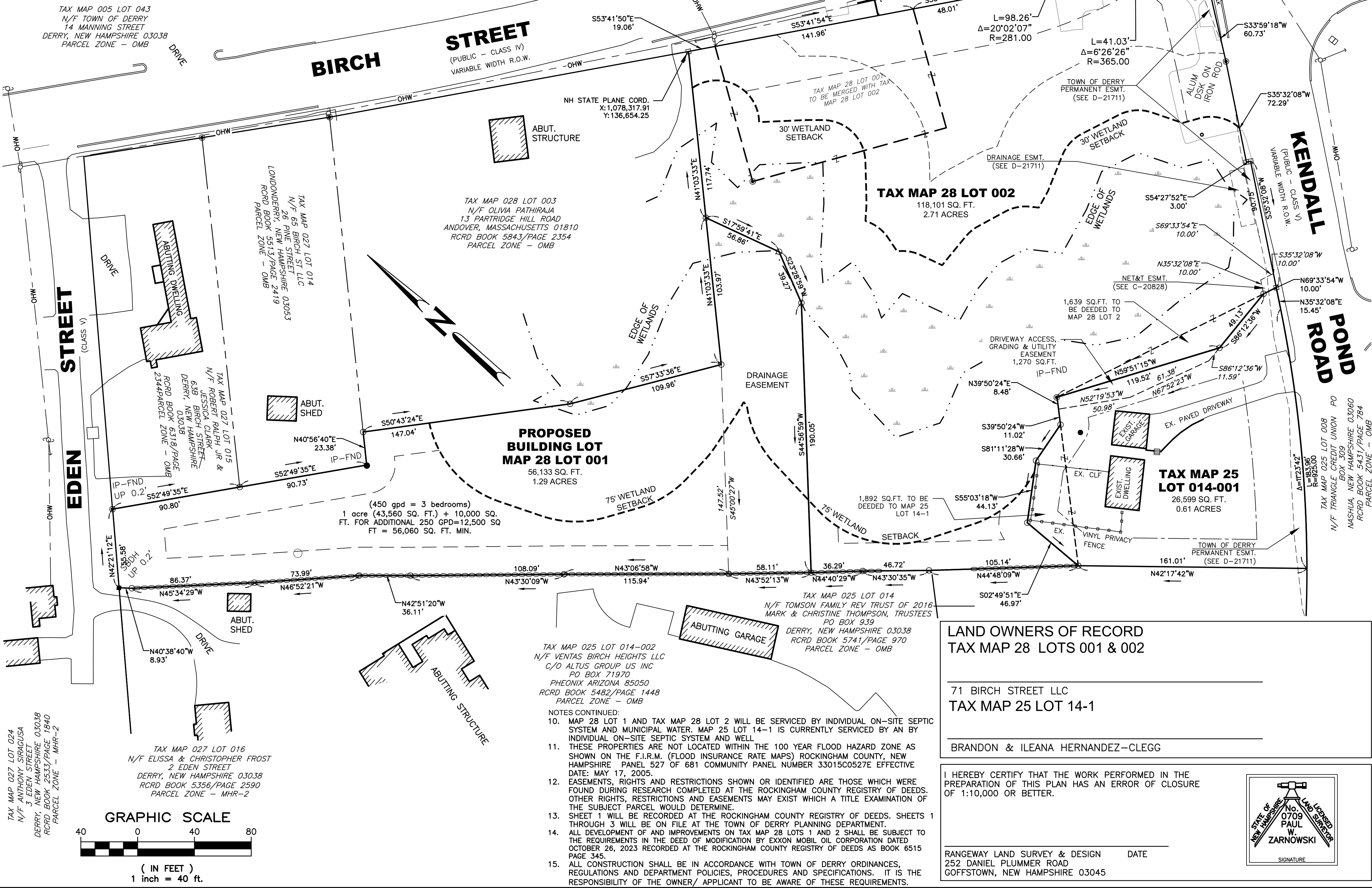
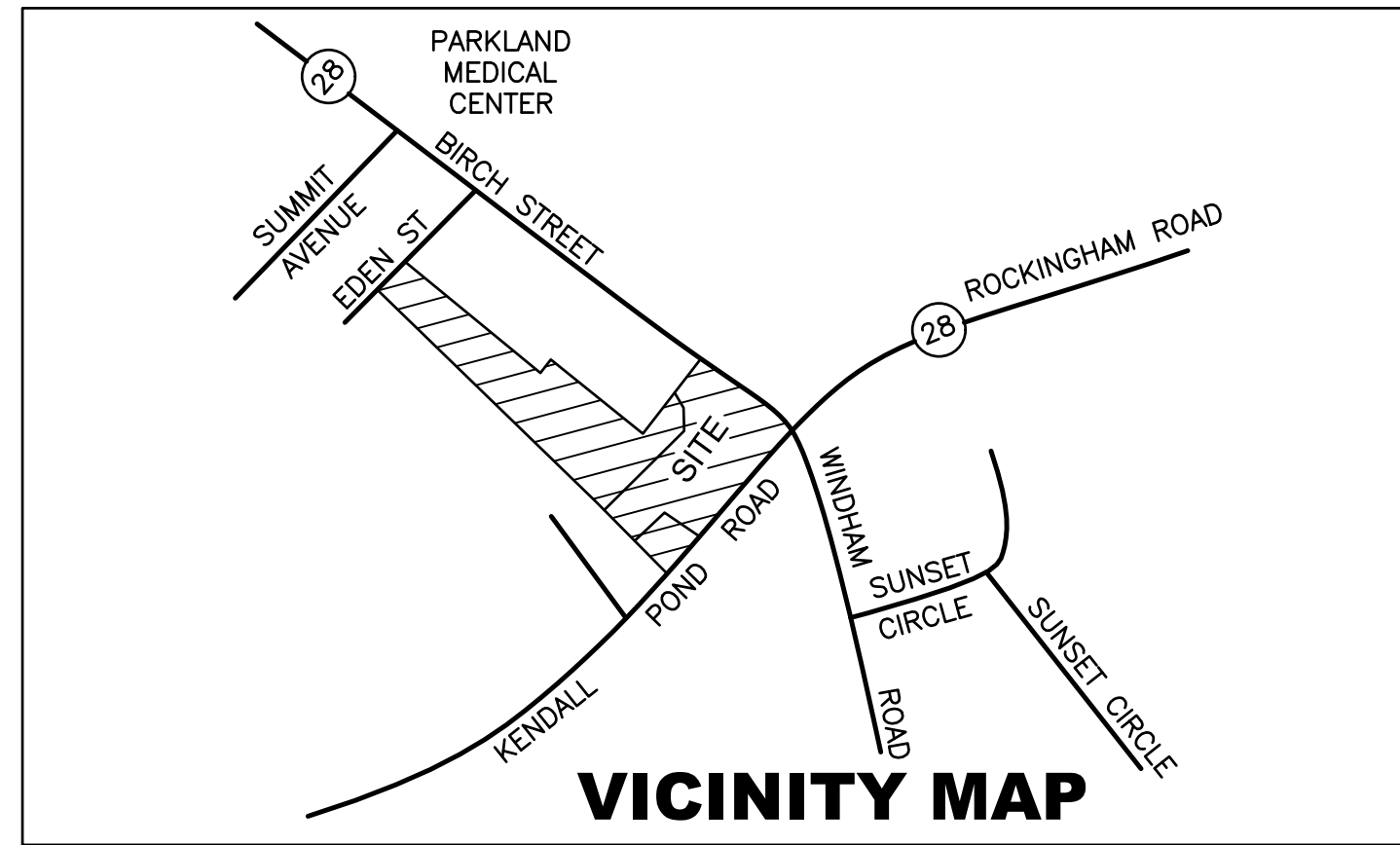
SHEET 1..... SUBDIVISION PLAN
 SHEET 2..... TOPOGRAPHICAL SUBDIVISION PLAN
 SHEET 3..... SIGHT DISTANCE PLAN & DETAILS

PLAN REFERENCES:

- 1) RCRD PLAN D-28303
- 2) RCRD PLAN D-21711
- 3) RCRD PLAN C-20828
- 4) RCRD PLAN D-26723
- 5) RCRD PLAN D-32875

DEED REFERENCES:

- 1) RCRD BK. 6455 PG. 413
- 2) RCRD BK. 6495 PG. 2458
- 3) RCRD BK. 6515 PG. 345



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO:
 - A) VOLUNTARILY MERGE TAX MAP 28 LOT 1 AND TAX MAP 28 LOT 2
 - B) SUBDIVIDE THE NEW PARCEL INTO TWO LOTS
 - C) ADJUST LOT LINES BETWEEN TAX MAP 28 LOT 2 AND TAX MAP 25 LOT 14-1
2. PARCEL ZONE - OMB (OFFICE/MEDICAL/BUSINESS DISTRICT)
3. ZONING REQUIREMENTS

FRONTAGE	-	125 FEET
LOT WIDTH	-	125 FEET
FRONT SETBACK	-	35 FEET
SIDE/REAR SETBACKS	-	20 FEET
MINIMUM LOT AREA WITH SEWER	-	30,000 SQ. FT.
W/O SEWER ONE ACRE + 10K SQ. FT. FOR EVERY 200 GPD/AFTER THE FIRST 200 GPD	-	
4. TOTAL PARCEL AREA:

EXISTING:	(MAP 28 LOTS 001 & 002 COMBINED)	
MAP 25 LOT 14-1	174,487 SQ. FT.	= 4.01 ACRES
TOTAL	28,346 SQ. FT.	= 0.60 ACRES
TOTAL	200,833 SQ. FT.	= 4.61 ACRES
PROPOSED:		
MAP 28 LOT 001	56,133 SQ. FT.	= 1.29 ACRES
MAP 28 LOT 002	118,101 SQ. FT.	= 2.71 ACRES
MAP 25 LOT 14-1	28,599 SQ. FT.	= 0.61 ACRES
TOTAL	200,833 SQ. FT.	= 4.61 ACRES
5. BOUNDARY INFORMATION PROVIDED IN CONJUNCTION WITH: RANGWAY LAND SURVEY & DESIGN 252 DANIEL PLUMMER ROAD GOFFSTOWN, NEW HAMPSHIRE 03045 603-642-1802
6. WETLAND MAPPING PROVIDED BY: BLUE MOON ENVIRONMENTAL, INC., CONCORD, NH NANCY RENDALL CWS
7. PERMITS: NHDES SUBDIVISION APPROVAL NUMBER - PENDING
8. WAIVERS: NONE
9. VARIANCES: ZBA CASE #22-145 GRANTED OCTOBER 6, 2022 VARIANCE TO THE TERMS OF ARTICLE III, SECTION 165-20a OF THE TOWN OF DERRY ZONING ORDINANCE TO ALLOW THE CONSTRUCTION OF A COMMERCIAL BUILDING LESS THAN 75 FEET FROM A WETLAND LARGER THAN 1 ACRE AT 69-71 BIRCH STREET, PARCEL ID 28001 & 28002 AS PRESENTED WITH THE FOLLOWING CONDITIONS: 1. SUBJECT TO ALL STATE AND TOWN PERMITS AND INSPECTIONS; 2. SUBJECT TO TRC REVIEW & PLANNING BOARD SITE PLAN REVIEW. ZBA CASE #23-108 GRANTED APRIL 6, 2023 VARIANCE TO THE TERMS OF ARTICLE VI, SECTION 165-35.D.2 & 3 OF THE TOWN OF DERRY ZONING ORDINANCE TO ALLOW THE PROPERTY TO BE SUBDIVIDED INTO 2 LOTS WITH THE NEWLY CREATED LOT HAVING LESS THAN THE REQUIRED FRONTAGE AND LOT WIDTH ON EDEN STREET. A SINGLE FAMILY DWELLING IS PROPOSED TO BE CONSTRUCTED ON THE NEW LOT - 71 BIRCH STREET, PARCEL ID 28001, ZONED OMB AS PRESENTED WITH THE FOLLOWING CONDITIONS: 1. SUBJECT TO ALL STATE AND TOWN PERMITS AND INSPECTIONS; 2. PLANNING BOARD SUBDIVISION APPROVAL REQUIRED.

SUBDIVISION PLAN
TAX MAP 28 LOTS 001 & 002
TAX MAP 25 LOT 014-001
#69-71 BIRCH STREET & #3 KENDALL POND ROAD
DERRY, NEW HAMPSHIRE 03038

OWNER OF RECORD / PREPARED FOR: 71 BIRCH STREET, LLC
 230 HAMPSTEAD ROAD
 DERRY, NEW HAMPSHIRE 03038
 RCRD BOOK 6455/PAGE 413

OWNER OF RECORD: BRANDON & ILEANA HERNANDEZ-CLEGG
 3 KENDALL POND ROAD
 DERRY, NEW HAMPSHIRE 03038
 RCRD BOOK 6495/PAGE 2458

SCALE: 1"=40' SHEET 1 of 3 JUNE 23, 2023

LAND OWNERS OF RECORD
TAX MAP 28 LOTS 001 & 002

71 BIRCH STREET LLC
TAX MAP 25 LOT 14-1

BRANDON & ILEANA HERNANDEZ-CLEGG

I HEREBY CERTIFY THAT THE WORK PERFORMED IN THE PREPARATION OF THIS PLAN HAS AN ERROR OF CLOSURE OF 1:10,000 OR BETTER.

RANGWAY LAND SURVEY & DESIGN DATE
 252 DANIEL PLUMMER ROAD
 GOFFSTOWN, NEW HAMPSHIRE 03045

WATER SERVICE	10/27/23
TRC REVISIONS	8/1/23
REVISIONS	DATE

BENCHMARK LLC
 Consulting Engineers Land Planners
 1F Commons Drive, Suite 35
 Londonderry, New Hampshire 03053
 Phone: (603) 437-5000

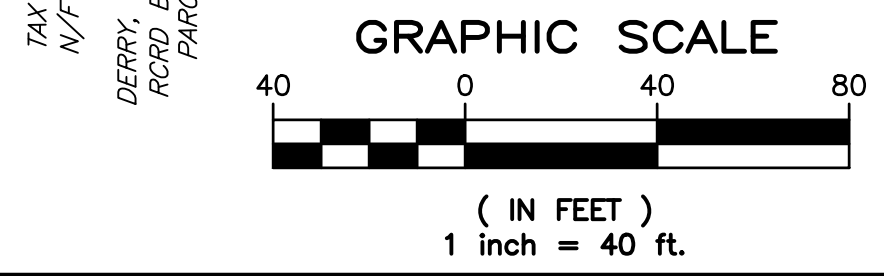
APPROVED BY THE TOWN OF DERRY, NH PLANNING BOARD

On Date: _____

Certified By: _____

CHAIRMAN

SECRETARY



- NOTES CONTINUED:
10. MAP 28 LOT 1 AND TAX MAP 28 LOT 2 WILL BE SERVICED BY INDIVIDUAL ON-SITE SEPTIC SYSTEM AND MUNICIPAL WATER. MAP 25 LOT 14-1 IS CURRENTLY SERVICED BY AN BY INDIVIDUAL ON-SITE SEPTIC SYSTEM AND WELL
 11. THESE PROPERTIES ARE NOT LOCATED WITHIN THE 100 YEAR FLOOD HAZARD ZONE AS SHOWN ON THE F.I.R.M. (FLOOD INSURANCE RATE MAPS) ROCKINGHAM COUNTY, NEW HAMPSHIRE. PANEL 527 OF 681 COMMUNITY PANEL NUMBER 33015C0527E EFFECTIVE DATE: MAY 17, 2005.
 12. EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH COMPLETED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, RESTRICTIONS AND EASEMENTS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PARCEL WOULD DETERMINE.
 13. SHEET 1 WILL BE RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. SHEETS 1 THROUGH 3 WILL BE ON FILE AT THE TOWN OF DERRY PLANNING DEPARTMENT.
 14. ALL DEVELOPMENT OF AND IMPROVEMENTS ON TAX MAP 28 LOTS 1 AND 2 SHALL BE SUBJECT TO THE REQUIREMENTS IN THE DEED OF MODIFICATION BY EXXON MOBIL OIL CORPORATION DATED OCTOBER 26, 2023 RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS BOOK 6515 PAGE 343.
 15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF DERRY ORDINANCES, REGULATIONS AND DEPARTMENT POLICIES, PROCEDURES AND SPECIFICATIONS. IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT TO BE AWARE OF THESE REQUIREMENTS.

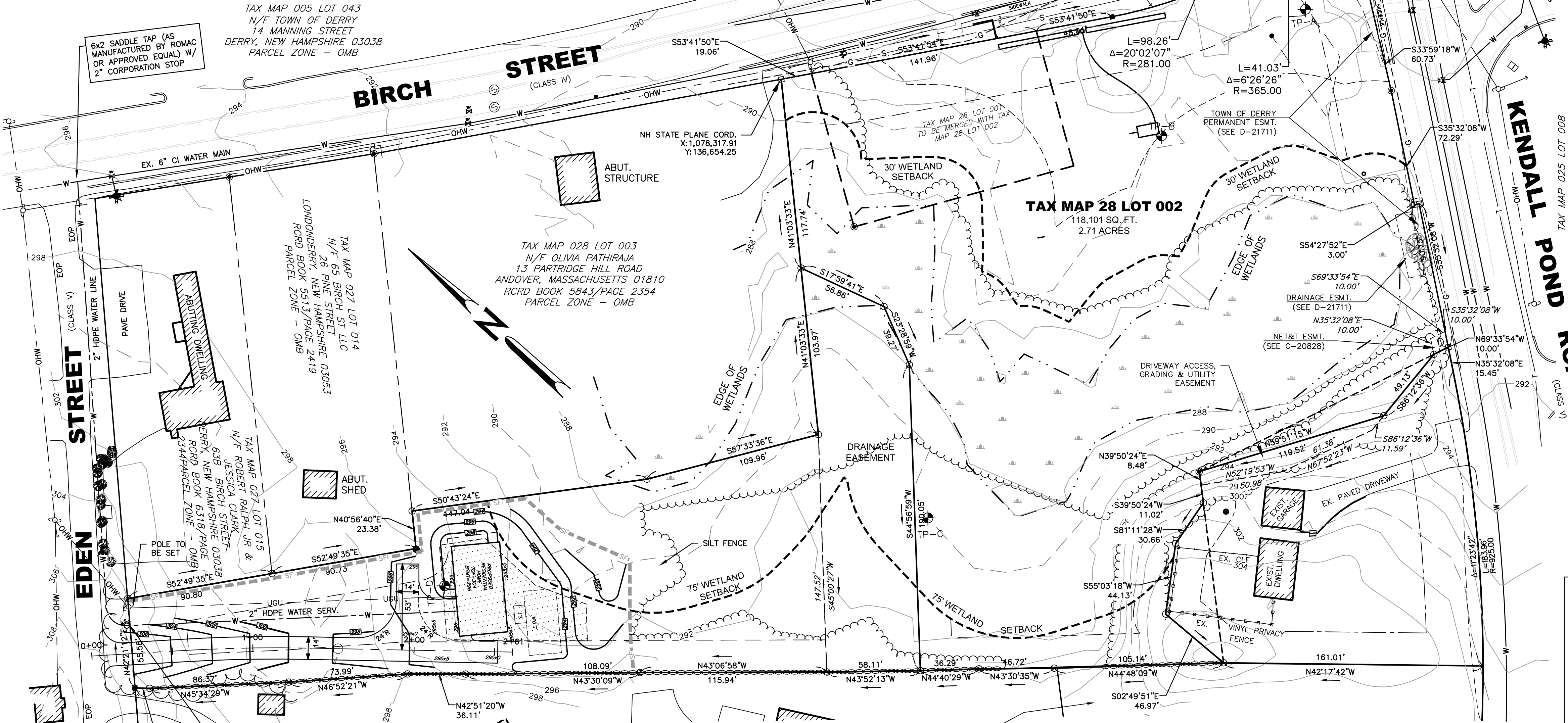
LEGEND:

CONC BOUND w/DRILL HOLE (FOUND)	UTILITY POLE w/ GUY WIRE	222	2 FT CONTOUR
REBAR/OR IRON PIPE (FOUND)	WELL	220	10 FT CONTOUR
DRILL HOLE FOUND	STONEWALL	220	PROPOSED CONTOUR
BOUND TO BE SET	EDGE OF PAVEMENT	---	PROPOSED SILT FENCE
REBAR OR DRILL HOLE TO BE SET	EDGE OF WETLAND	---	PROPOSED ELECTRICAL SERVICE
PROPERTY LINE	EXISTING STRUCTURE	---	EXIST. GAS MAIN
BUILDING SETBACK LINE	WELL	---	EXIST. OVERHEAD WIRES
EASEMENT LINE	TEST PIT	---	EXIST. HYDRANT & WATER MAIN
		---	EXIST. SEWER MAIN
		---	EXIST. TELECOM. LINE

ABBREVIATIONS:

UP	UTILITY POLE	RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
EOP	EDGE OF PAVEMENT		
EOG	EDGE OF GRAVEL		
STY	STORY		
WD	WOOD		
FR	FRAME		
TYP	TYPICAL		
PROP	PROPOSED		
EDA	EFFLUENT DISPOSAL AREA		

- NOTES:**
- SEE SHEET 1 FOR ADDITIONAL NOTES AND INFORMATION.
 - WETLANDS MAPPED ON-SITE BY: BLUE MOON ENVIRONMENTAL CONCORD, NEW HAMPSHIRE 03301 NANCY B RENDALL CWS
 - BOUNDARY SURVEY COMPLETED IN CONJUNCTION WITH: RANGEWAY LAND SURVEY & DESIGN 252 DANIEL PLUMMER ROAD GOFFSTOWN, NEW HAMPSHIRE 03045
 - THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. BENCHMARK, LLC MAKE NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT NEW HAMPSHIRE DIG SAFE AT 1-888-344-7233.
 - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION MEASURES AT NO EXPENSE TO THE TOWN.
 - CONTRACTOR TO PROTECT BASE ELEVATION AREAS FROM SILTATION DURING CONSTRUCTION.
 - ANY DISCREPANCIES OR UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ENGINEER BEFORE CONTINUING WITH CONSTRUCTION.
 - DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 12 INCH DEPTH OF NHDOT CRUSHED GRAVEL 304.3 SPECIFICATIONS FOR THE ENTIRE LENGTH. PROPOSED DRIVEWAY SHALL HAVE AN PAVED APRON WITH A MINIMUM 2" THICKNESS OF BITUMINOUS ASPHALT BASE COURSE PAVEMENT BETWEEN THE EDGE OF PAVEMENT ALONG EDEN STREET AND EDGE OF RIGHT OF WAY.



TAX MAP 028 LOT 038R
N/F MADELINE ROULLIER & MICHAEL OTTMAN
73R ROCKINGHAM ROAD
DERRY, NEW HAMPSHIRE 03038
RCRD BOOK 6360/PAGE 1956
PARCEL ZONE - MDR

TAX MAP 028 LOT 004
N/F SUK HOLDINGS LLC
C/O HESS REALTY LLC
PROPERTY TAX DEPARTMENT
539 SOUTH MAIN STREET
FINLAY, OHIO 45840
RCRD BOOK 4824/PAGE 007
PARCEL ZONE - OMB

TAX MAP 005 LOT 043
N/F TOWN OF DERRY
14 MANNING STREET
DERRY, NEW HAMPSHIRE 03038
PARCEL ZONE - OMB

TAX MAP 028 LOT 003
N/F OLIVIA PATHIRAJA
13 PARTRIDGE HILL ROAD
ANDOVER, MASSACHUSETTS 01810
RCRD BOOK 5843/PAGE 2354
PARCEL ZONE - OMB

TAX MAP 027 LOT 014
N/F PINE STREET LLC
26 PINE STREET
LONDONDERRY, NEW HAMPSHIRE 03053
RCRD BOOK 5513/PAGE 2419
PARCEL ZONE - OMB

TAX MAP 027 LOT 015
N/F ROBERT RALPH JR & N/F JESS BIRCH STREET
638 BIRCH STREET
DERRY, NEW HAMPSHIRE 03038
RCRD BOOK 6318/PAGE 344
PARCEL ZONE - OMB

TAX MAP 025 LOT 014-002
N/F VENTAS BIRCH HEIGHTS, LLC
C/O ALTUS GROUP US INC
PO BOX 71970
PHOENIX ARIZONA 85050
RCRD BOOK 5482/PAGE 1448
PARCEL ZONE - OMB

TAX MAP 025 LOT 014
N/F TOMSON FAMILY REV TRUST OF 2016
MARK & CHRISTINE THOMPSON, TRUSTEES
PO BOX 939
DERRY, NEW HAMPSHIRE 03038
RCRD BOOK 5741/PAGE 970
PARCEL ZONE - OMB

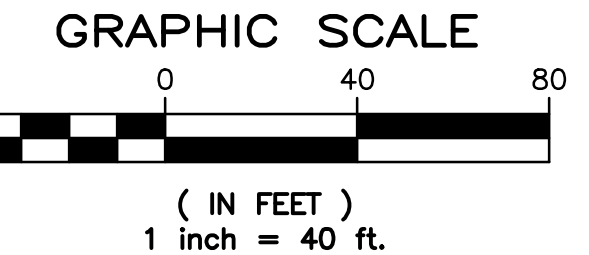
TAX MAP 027 LOT 024
N/F ANTHONY SIRAGUSA
3 EDEN STREET
DERRY, NEW HAMPSHIRE 03038
RCRD BOOK 2533/PAGE 1840
PARCEL ZONE - MHR-2

TAX MAP 027 LOT 016
N/F ELISSA & CHRISTOPHER FROST
2 EDEN STREET
DERRY, NEW HAMPSHIRE 03038
RCRD BOOK 5356/PAGE 2590
PARCEL ZONE - MHR-2

BENCHMARK

ALUMINUM DISK ON IRON ROD, IN PAVEMENT ALONG THE NORTHERLY SIDE OF KENDALL POND ROAD
ELEVATION 290.89'

NORTH ORIENTATION IS NH GRID NAD83 & ELEVATION DATUM IS NAVD88 BASED ON GPS DATA.



WETLAND NOTES:

- Wetland boundaries as flagged were delineated by Nancy B. Rendall, Certified Wetland Scientist, #073 in October, 2021 and represent site conditions at that time.
- Wetland delineation was performed to the standards in the "Regional Supplement to the Corps of Engineers Wetland Delineation Manual Northcentral and Northeast Region (Version 2.0), USACE, January, 2012."
- Hydric soils were determined in accordance with the protocol in "Field Indicators of Hydric Soils in the United States - A Guide for Identifying and Delineating Hydric soils, NRCS, Version 8.0, 2016" and "Version 4 of the Field Indicators for Identifying Hydric Soils in New England."
- Determination of wetland vegetation was assessed using the National Wetland Plant List, Version 3.3. U.S. Army Corps of Engineers 2019.
- Wetlands were classified using the USFWS Methodology, "Classification of Wetlands and Deepwater Habitats, Cowardin, et al, 1979."

THIS PLAN HAS BEEN REVIEWED BY AND MEETS THE STANDARDS OF THESE AGENCIES:

PUBLIC WORKS DIRECTOR	DATE
CODE ENFORCEMENT OFFICER	DATE
DERRY FIRE DEPARTMENT	DATE
CONSERVATION COMMISSION	DATE
POLICE DEPARTMENT	DATE

TOPOGRAPHIC SUBDIVISION PLAN
TAX MAP 28 LOTS 001 & 002
TAX MAP 25 LOT 014-001
#69-71 BIRCH STREET & #3 KENDALL POND ROAD
DERRY, NEW HAMPSHIRE 03038

OWNER OF RECORD / PREPARED FOR: 71 BIRCH STREET, LLC
230 HAMPSTEAD ROAD
DERRY, NEW HAMPSHIRE 03038
RCRD BOOK 6455/PAGE 413

OWNER OF RECORD: BRANDON & ILEANA HERNANDEZ-KLEGG
3 KENDALL POND ROAD
DERRY, NEW HAMPSHIRE 03038
RCRD BOOK 6495/PAGE 2458

SCALE: 1"=40' SHEET 2 of 3 JUNE 23, 2023

WATER SERVICE	10/27/23
TRC REVISIONS	8/1/23
REVISIONS	DATE

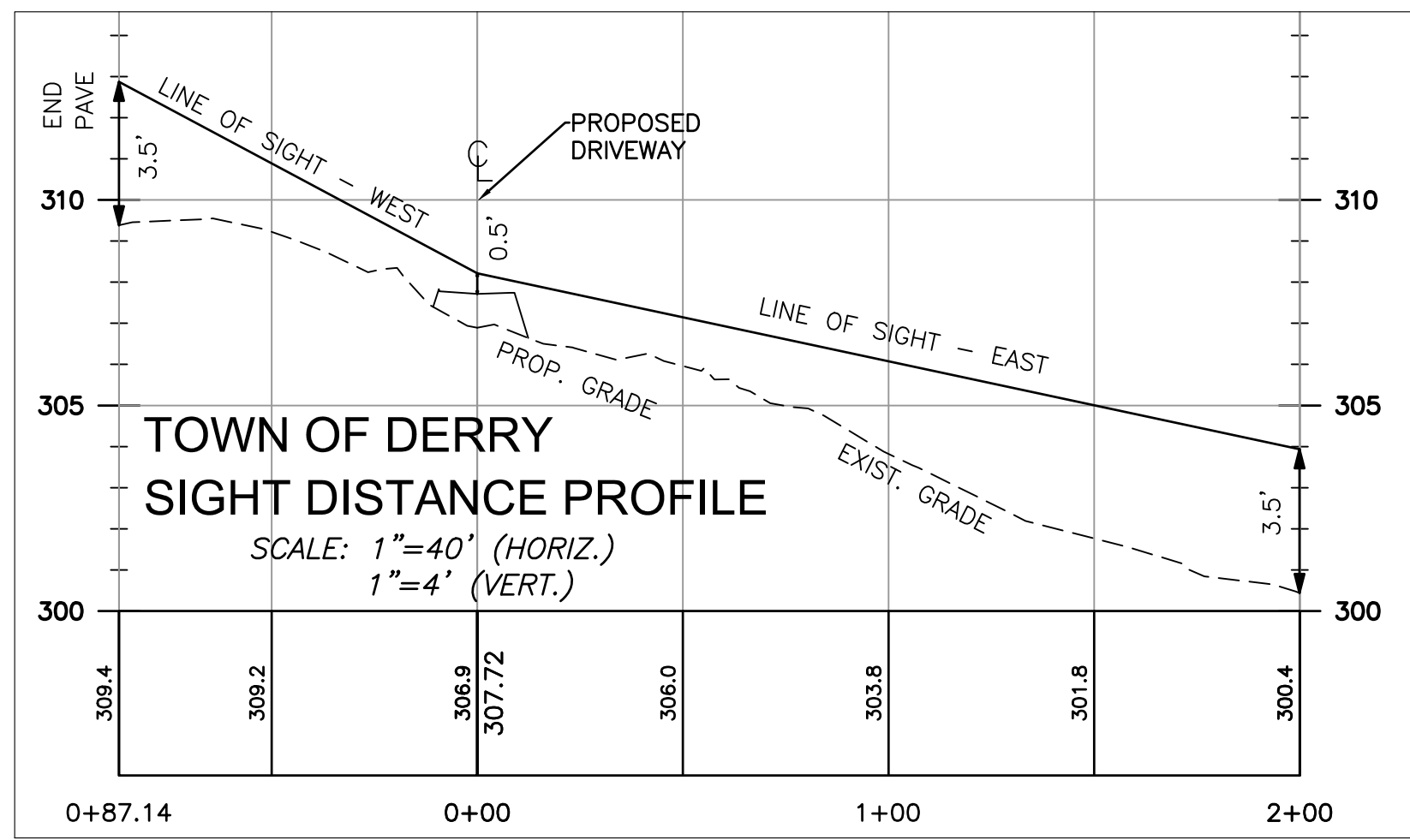
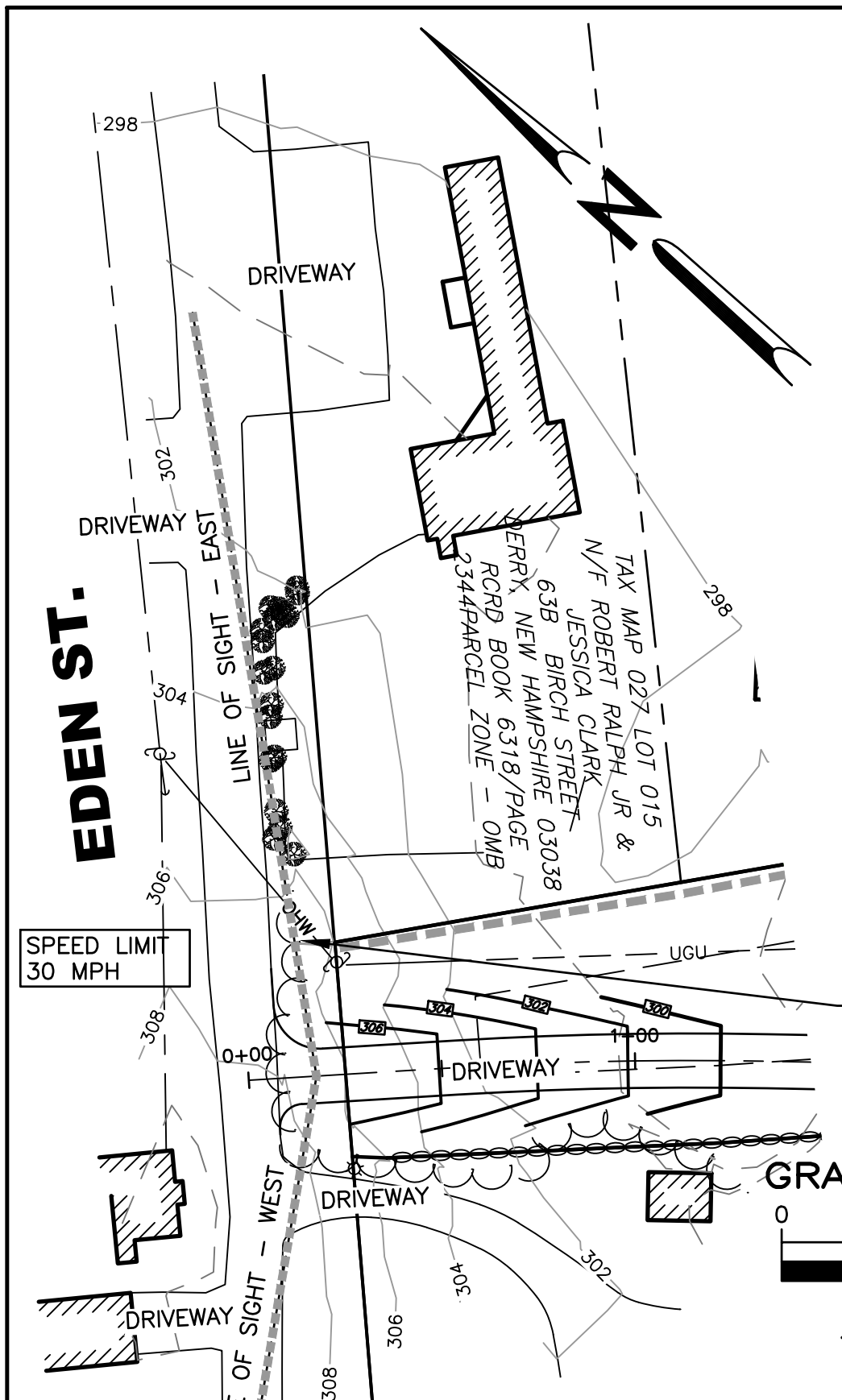
APPROVED BY THE TOWN OF DERRY, NH PLANNING BOARD

On Date: _____

Certified By: _____

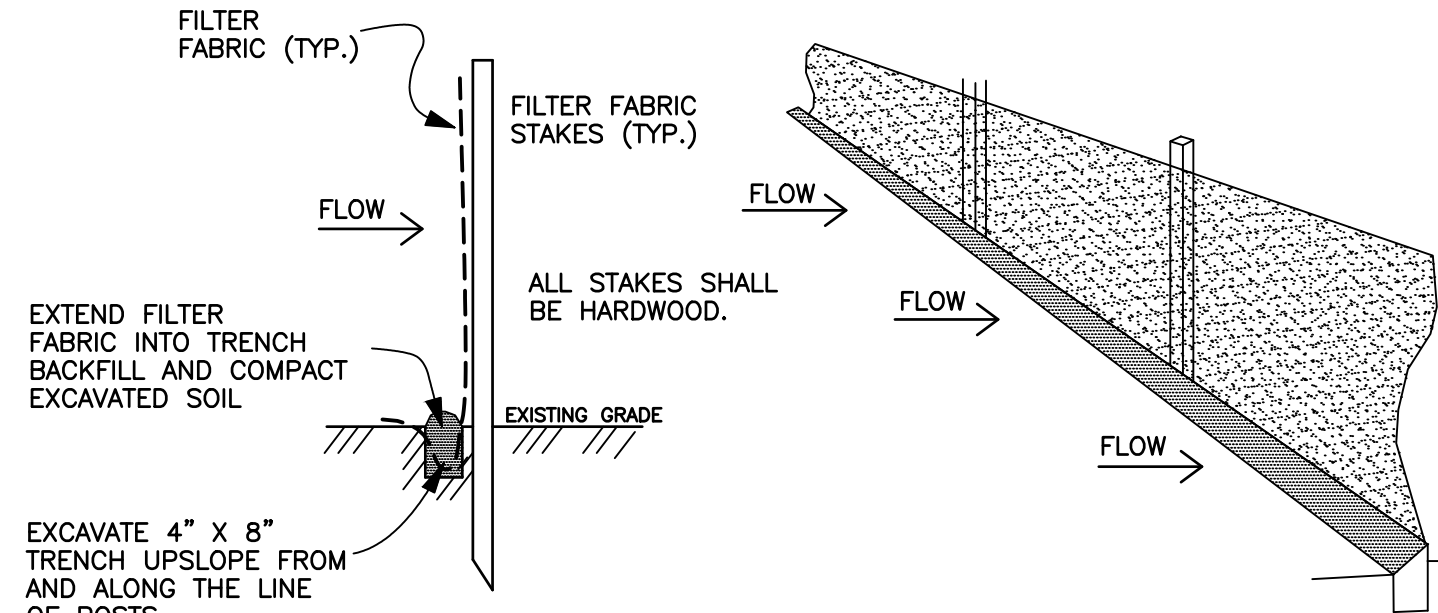
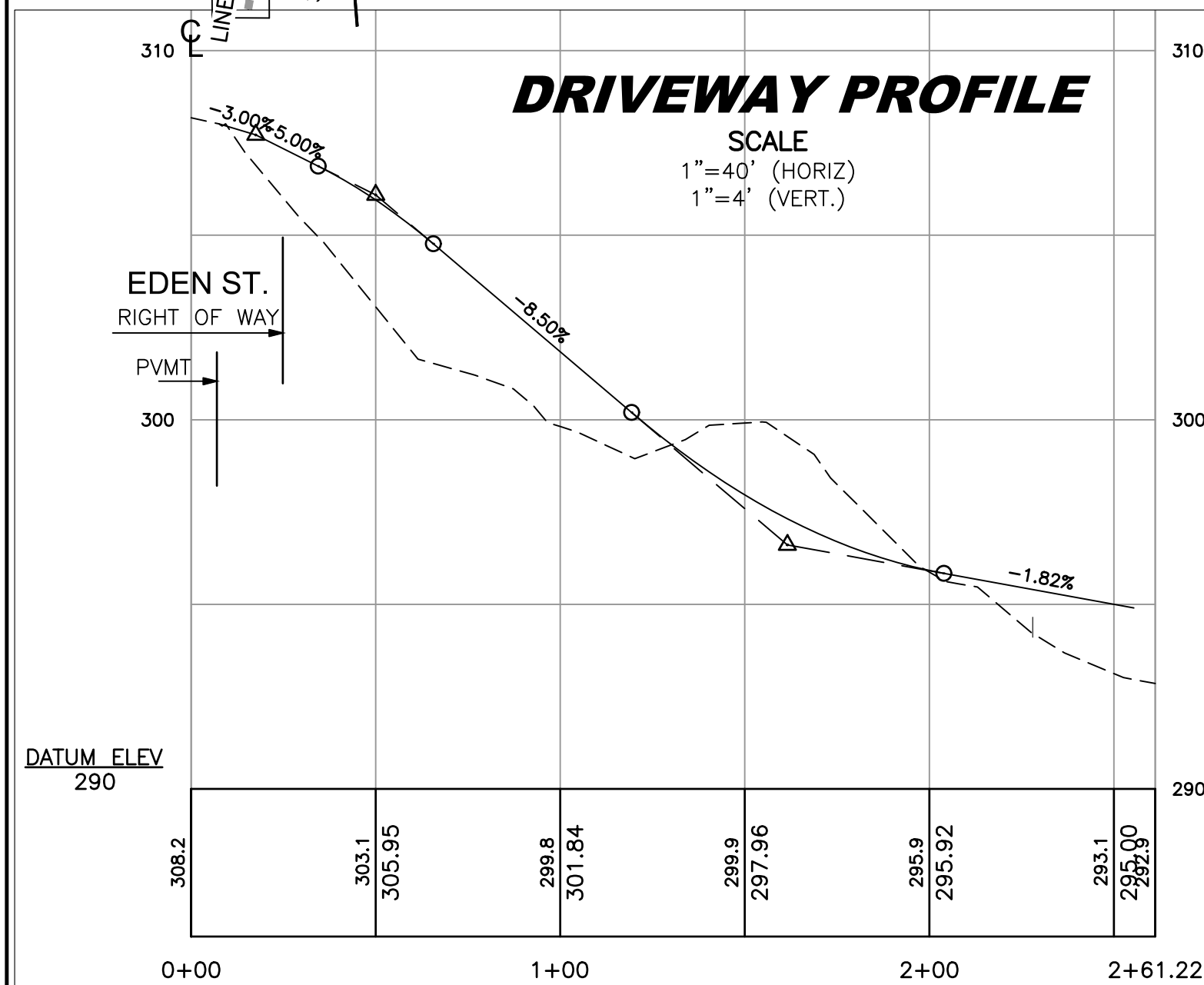
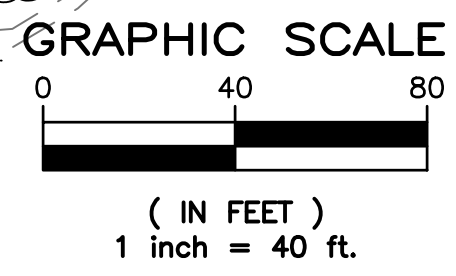
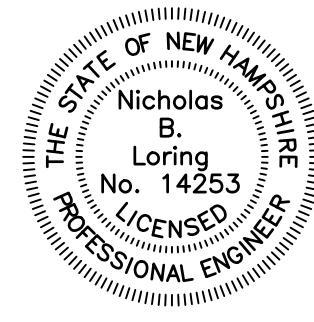
CHAIRMAN _____

SECRETARY _____



I HEREBY CERTIFY THAT THE 200' OF SIGHT DISTANCE AS REQUIRED BY THE TOWN OF DERRY WILL BE ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

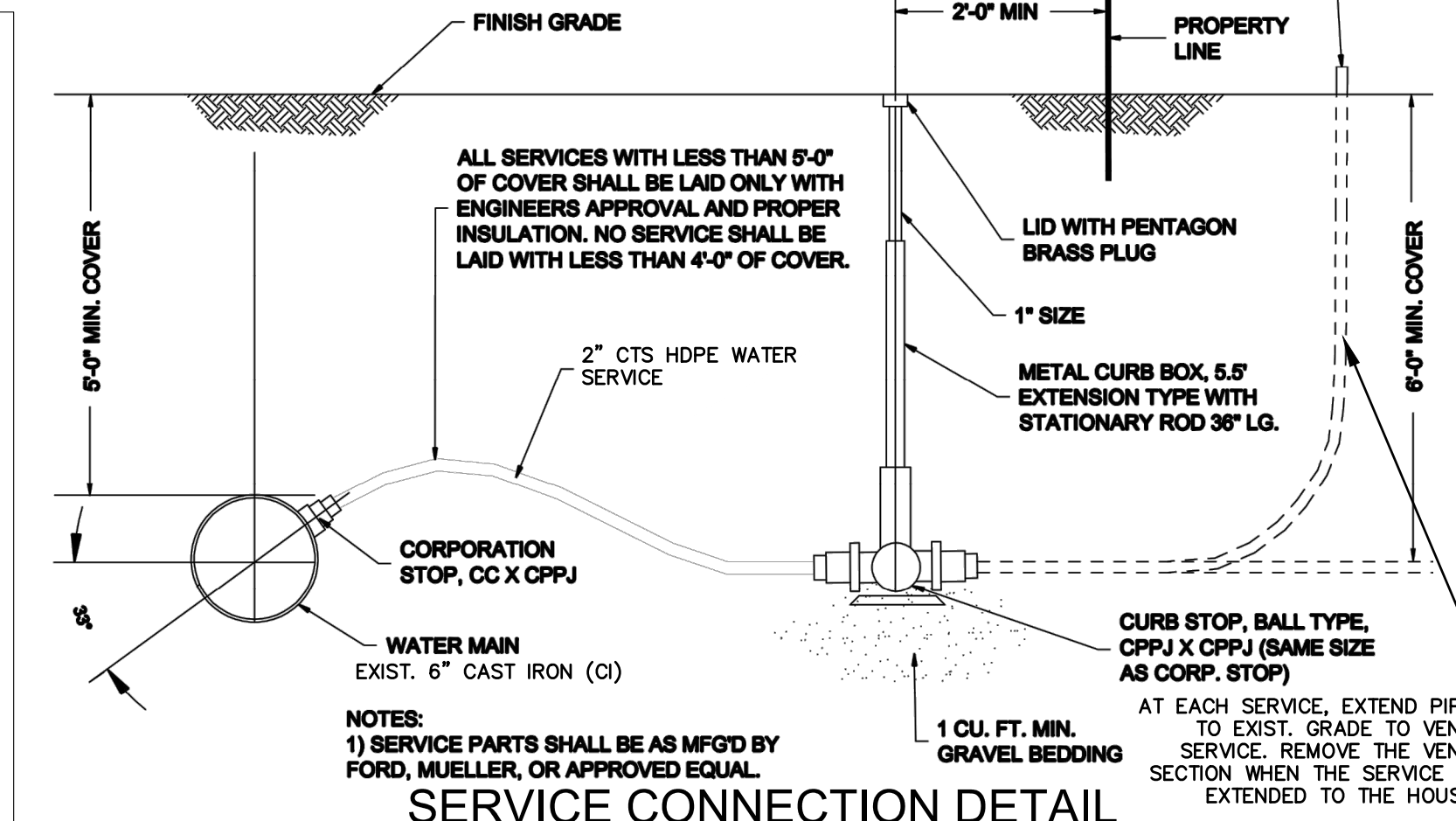
NICHOLAS B. LORING, PE



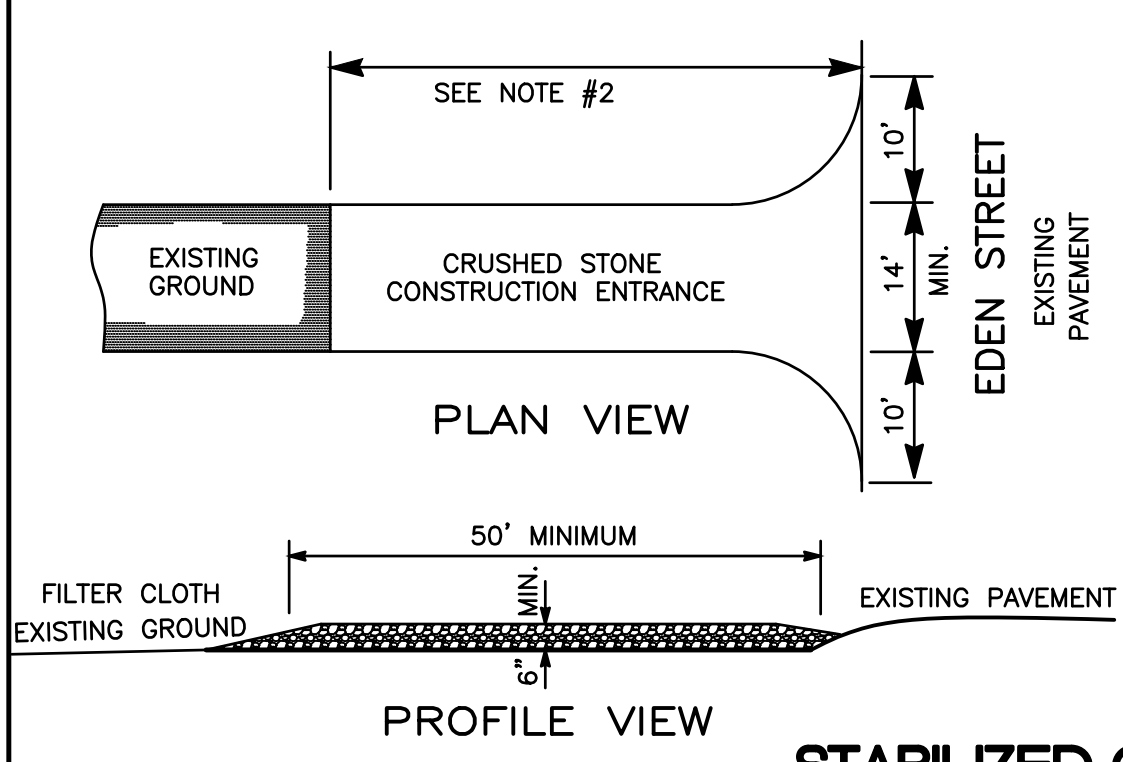
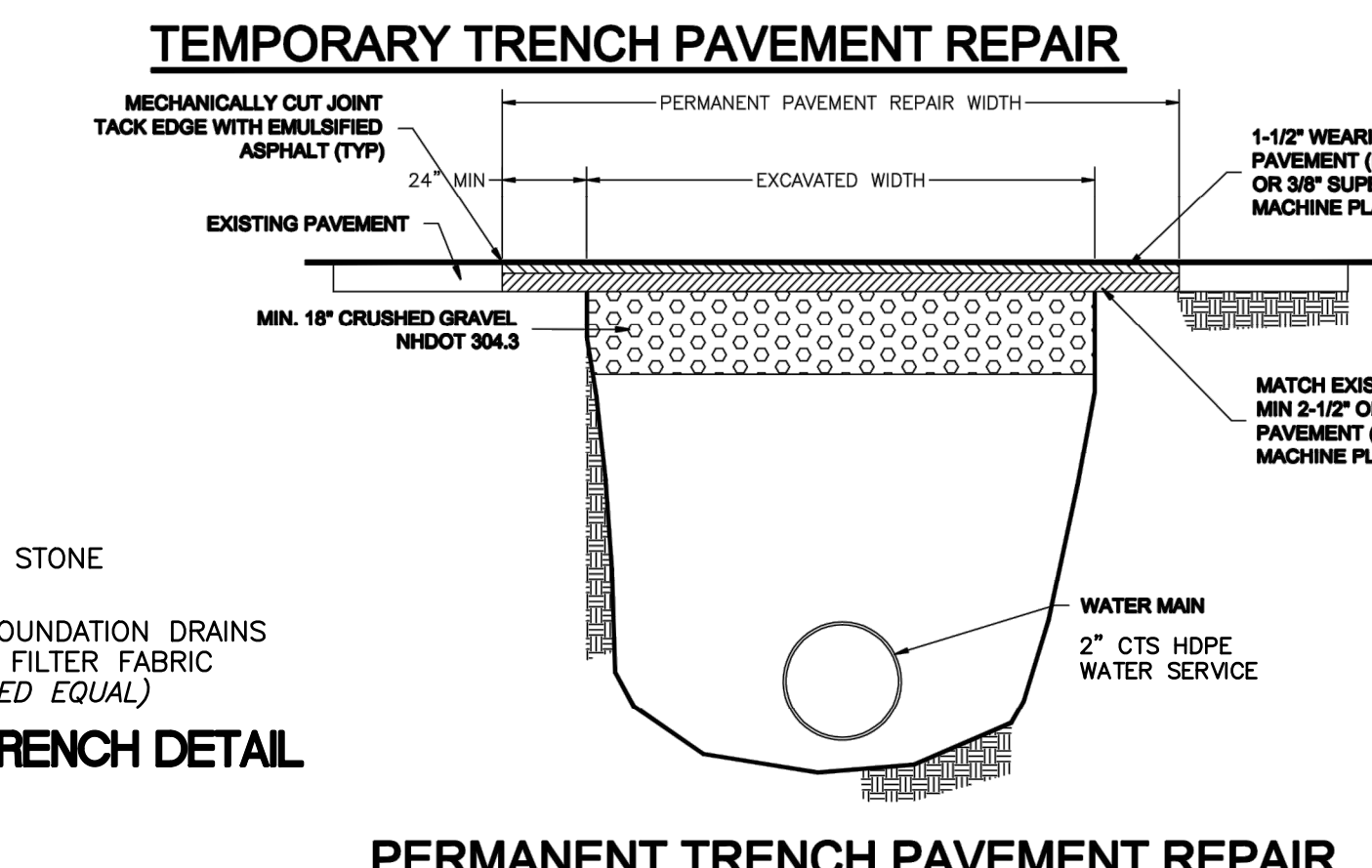
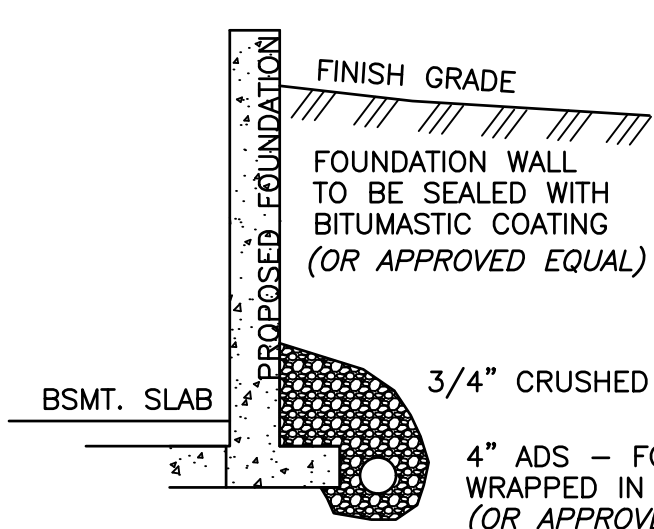
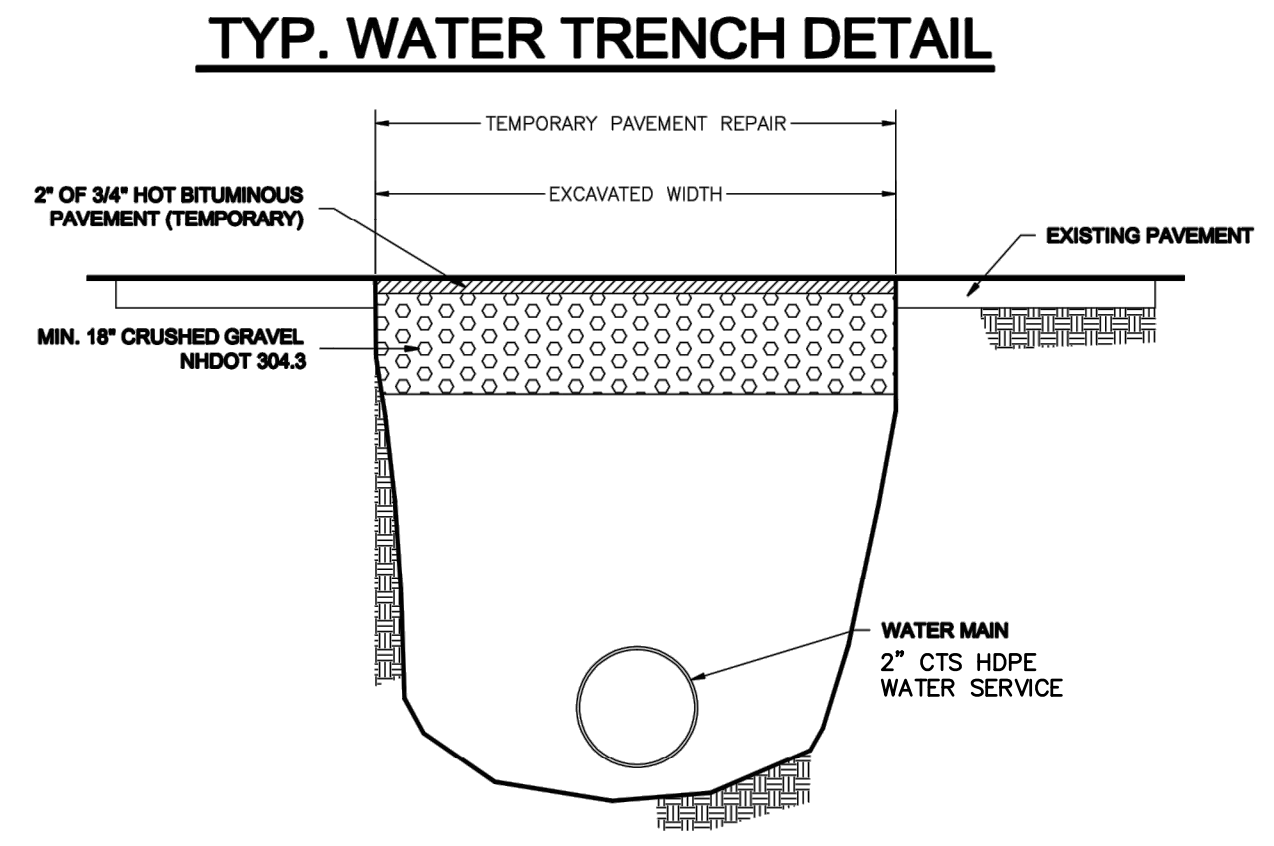
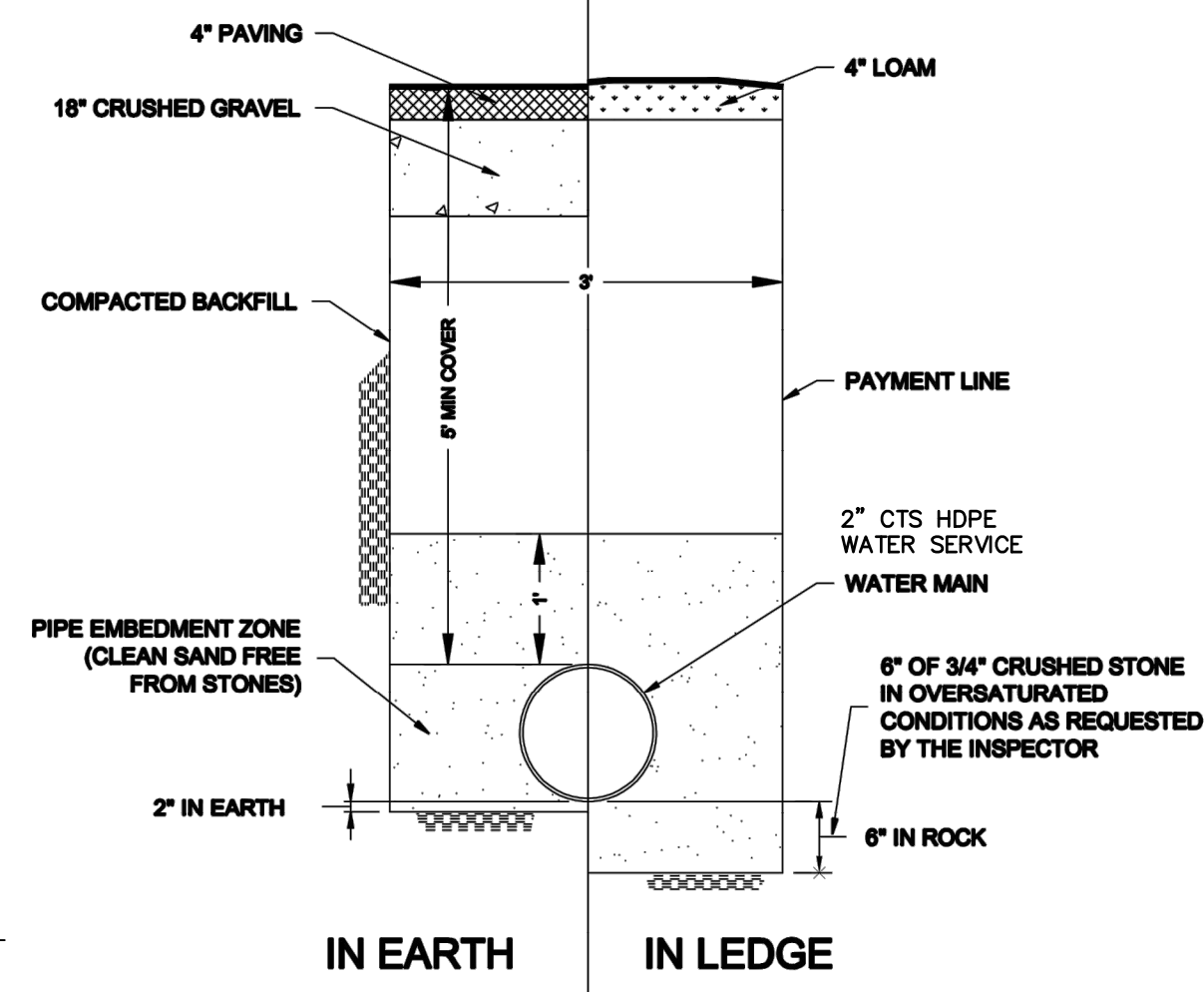
EXCAVATE 4" X 8" TRENCH UPSLOPE FROM AND ALONG THE LINE OF POSTS

ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE BMP (BEST MANAGEMENT PRACTICES) AS SPECIFIED IN THE "STORMWATER MANAGEMENT AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE" AS PREPARED BY THE ROCKINGHAM COUNTY CONSERVATION DISTRICT.

- SILT FENCE MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
- CONSTRUCTION SPECIFICATIONS**
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
 - THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
 - WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
 - WHEN 2 SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
 - FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.
- MULCH BERM, OR SIMILAR DURABLE SILTATION BARRIER, IN LIEU OF SILT FENCE, MAY BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AT THE TOE OF SLOPE.



NOTES:
1) SERVICE PARTS SHALL BE AS MFG'D BY FORD, MUELLER, OR APPROVED EQUAL.



- CONSTRUCTION SPECIFICATIONS**
- MINIMUM STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 3 INCH CRUSHED STONE.
 - THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
 - THE WIDTH OF THE CONSTRUCTION ENTRANCE SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICH EVER IS GREATER.
 - THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROAD.
 - THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
 - GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
 - THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF SITE.
 - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED PROMPTLY.
 - IF NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

- TOWN OF DERRY WATER MAIN SPECIFICATIONS**
HDPE PLASTIC TUBING
11.01 GENERAL
- FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS REQUIRED, AND INSTALL HDPE PLASTIC TUBING AND FITTINGS COMPLETE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- 11.02 MATERIALS
- HDPE PLASTIC TUBING: SHALL BE COPPER TUBE SIZE (CTS) POLYETHYLENE WITH A PRESSURE RATING OF 250 P.S.I. AND SHALL CONFORM TO AWWA C901-96, ASTM D3350, AND ASTM D2737. THE PIPE SHALL BE SUPPLIED IN MINIMUM COIL SIZES OF 300 FEET FOR 1-1/2" TO 1-1/4" DIAMETER SIZED TUBING AND MINIMUM 100 FOOT COILS FOR 1-1/2" & 2" DIAMETER SIZED TUBING. THE PIPE SHALL BE SUBJECT TO REJECTION AT ANY TIME ON ACCOUNT OF FAILURE TO MEET ANY OF THE SPECIFICATION REQUIREMENTS, EVEN THOUGH PIPES MAY HAVE BEEN ACCEPTED AS SATISFACTORY AT THE PLACE OF MANUFACTURE. PIPE REJECTED AFTER DELIVERY SHALL BE MARKED FOR IDENTIFICATION AND SHALL IMMEDIATELY BE REMOVED FROM THE JOB.
 - STAINLESS STEEL INSERT STIFFENERS SHALL BE REQUIRED FOR CONNECTIONS OF CTS POLYETHYLENE TO BRASS FITTINGS.
 - CURB STOPS MUST BE OF A BALL CURB TYPE (BRASS BALL WITH TEFLON COATING) WITHOUT DRAIN. THEY MUST MEET OR EXCEED AWWA SPECIFICATION C-800 AND POSSESS A WORKING PRESSURE OF 300 P.S.I.
 - THREE-PIECE COUPLING SHALL BE OF COMPRESSION TYPE PACK-JOINT (CPJ) ON BOTH ENDS TO CONNECT SECTIONS OF HDPE PLASTIC TUBING. THE CPJ COUPLING MUST BE OF A TYPE WITH A SPLIT CLAMP DEVICE. OTHER FITTINGS SUCH AS COMPRESSION TEES SHALL BE USED TO CONNECT BRANCH SERVICE LINES IF APPLICABLE.
 - THE WATER SERVICE CURB BOX IS MADE UP OF THREE BASIC COMPONENTS: THE COVER, THE SERVICE BOX, AND THE ROD.
 - THE PLUG TYPE COVER MUST HAVE A BRASS PENTAGON PLUG WITH COARSE "ROPE" THREAD TO ENABLE QUICK AND EASY REMOVAL.
 - THE SERVICE BOX SHALL BE ADJUSTED TO 1' - 0" WITH ITS HEIGHT RANGE. IT MUST BE ADJUSTED TO FINAL GRADE FLUSH WITH EITHER PAVEMENT OR GRASS SURFACE.
 - THE ROD MUST OFFSET FOR CENTERING IN THE PIPE AND BE PROVIDED WITH A HEAVY DUCTILE IRON END YOKE WITH BRASS COTTER PIN. THE PIN ASSEMBLY MUST BE ATTACHED TO THE CURB STOP PRIOR TO BACKFILL.
- 11.03 EXECUTION
- ALL PIPE OR FITTINGS SHALL BE EXAMINED BEFORE LAYING, AND NO PIECE SHALL BE INSTALLED WHICH IS FOUND TO BE DEFECTIVE. ALL REJECTED PIPE SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH SOUND PIPE AT THE CONTRACTOR'S EXPENSE. HAULING AND LAYING OF PIPE AND FITTINGS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION.
 - ALL PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED BEFORE LAYING AND SHALL BE KEPT CLEAN UNTIL THEY ARE USED IN WORK, AND WHEN LAID, SHALL CONFORM TO THE LINES AND GRADES REQUIRED. A FIRM, EVEN BEARING THROUGHOUT THE LENGTH OF THE PIPE PLACED IN NOT LESS THAN 3 SEPARATE LIFTS SHALL BE CONSTRUCTED BY TAMPING SELECTED MATERIAL AT THE SIDES OF THE PIPE UP TO 1 FT. OVER THE TOP OF THE PIPE. BLOCKING WILL NOT BE PERMITTED. IF ANY DEFECTIVE PIPE IS DISCOVERED AFTER IT HAS BEEN LAID, IT SHALL BE REMOVED AND REPLACED WITH A SOUND PIPE IN A SATISFACTORY MANNER BY THE CONTRACTOR AT HIS OWN EXPENSE.
 - THE PIPE EMBODIMENT ZONE SHALL CONSIST OF SAND AS THAT STIPULATED BY SECTION 6.05 HERE IN UNLESS OTHERWISE REQUESTED BY THE TOWN'S ENGINEER.
 - WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY WATER TIGHT PLUGS OR OTHER APPROVED MEANS.
 - GOOD ALIGNMENT SHALL BE PRESERVED IN LAYING. THE DEFLECTION AT JOINTS SHALL NOT EXCEED THAT RECOMMENDED BY THE MANUFACTURER.
 - PIPE AND FITTINGS SHALL BE LAID WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE.
 - WHEN RECONNECTING EXISTING WATER SERVICES TO NEW WATER MAINS, CAUTION SHALL BE EXERCISED TO ENSURE PROPER ALIGNMENT OF THE NEW SERVICE TAP IN RELATION TO THE EXISTING WATER SERVICE. ANY EXTRA PIPE AND FITTINGS REQUIRED TO COMPLETE THIS WORK, SHALL BE INCLUDED WITHIN THE BID ITEM.
 - TRENCH EXCAVATION AND BACKFILL SHALL BE THE SAME AS THAT STIPULATED BY SECTION 600 HEREIN.
 - TRENCH REPAIR SHALL BE THE SAME AS THAT STIPULATED IN SECTION 700 HEREIN.
 - SEWER AND WATER SERVICES SHALL MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
 - A 10 GAUGE COPPER WIRE SHALL BE PLACED BESIDE THE HDPE MAIN AND SERVICES AND POINTED UP TO THE SURFACE AT VALVE LOCATIONS, TO PROVIDE PIPE TRACING ABILITY.
 - WARNING TAPE: SHALL HAVE A MINIMUM THICKNESS OF 4 MILS WITH A SOLID ALUMINUM CORE TO ENSURE CONTINUITY. IT SHALL HAVE A MINIMUM WIDTH OF 4" AND BE INSTALLED DIRECTLY OVER THE PIPE WITH AN APPROXIMATE 2" VERTICAL SEPARATION.
- 11.04 TESTING
- THE CONTRACTOR SHALL FURNISH A TEST PUMP, GAUGES, AND ANY OTHER EQUIPMENT REQUIRED IN CONJUNCTION WITH CARRYING OUT THE HYDROSTATIC TEST. ALL LABOR AND TAPS ASSOCIATED WITH TESTING SHALL BE INCLUDED UNDER THE BID ITEM FOR TESTING.
 - ALL PIPELINES SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE OF 200 P.S.I. THIS PRESSURE SHALL BE MAINTAINED FOR A MINIMUM OF ONE HOUR. ANY LOSS OF PRESSURE WILL BE UNACCEPTABLE. BEFORE TESTING BEGINS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. THE ENGINEER SHALL FOLLOW CLOSELY THE PROGRESS OF THE PRESSURE TEST.
- 11.05 CHLORINATING OF PIPELINES
- BEFORE BEING PLACED IN SERVICE, ALL NEW WATER MAINS SHALL BE CHLORINATED USING THE CONTINUOUS FEED METHOD SPECIFIED IN AWWA C601. THE PROCEDURE SHALL BE APPROVED BY THE ENGINEER IN ADVANCE.
 - THE LOCATION OF THE CHLORINATING AND SAMPLING POINTS WILL BE DETERMINED BY THE ENGINEER IN THE FIELD. TAPS FOR CHLORINATION AND SAMPLING SHALL BE INSTALLED BY THE CONTRACTOR.
 - ANY MATERIALS SUCH AS CORPORATIONS AND COPPER PIPE WILL BE PROVIDED BY THE CONTRACTOR AND BE PAID UNDER THE LUMP SUM ITEM FOR TESTING AND CHLORINATION. THE CONTRACTOR SHALL EXCAVATE, REMOVE TESTING LINES AND BACKFILL TAPS FOLLOWING APPROVAL BY THE ENGINEER.
 - THE GENERAL PROCEDURE FOR CHLORINATION SHALL BE FIRST TO FLUSH ALL DIRTY OR DISCOLORED WATER FROM THE LINES, AND THEN INTRODUCE CHLORINE IN APPROVED DOSAGES THROUGH A TAP AT ONE END, WHILE WATER IS BEING WITHDRAWN AT THE OTHER END OF THE LINE. THE CHLORINE SOLUTION SHALL REMAIN IN THE PIPELINE AT 50 PARTS PER MILLION (PPM) FOR 24 HOURS. THE CHLORINE SOLUTION MUST BE PURGED FROM THE PIPELINE NO LATER THAN 36 HOURS FOLLOWING INITIAL INJECTION.
 - FOLLOWING THE CHLORINATION PERIOD, ALL TREATED WATER SHALL BE FLUSHED FROM THE LINES AT THEIR EXTREMITIES, AND REPLACED WITH WATER FROM THE DISTRIBUTION SYSTEM. ALL TREATED WATER FLUSHED FROM THE LINES SHALL BE DISPOSED OF BY DISCHARGING TO THE NEAREST SANITARY SEWER OR BY OTHER APPROVED MEANS. NO DISCHARGE TO ANY NATURAL WATERCOURSE WILL BE ALLOWED. THE CONTRACTOR SHALL OBTAIN SAMPLES OF REPLACEMENT WATER FOR BACTERIOLOGICAL ANALYSIS BY AN APPROVED LABORATORY IN FULL ACCORDANCE WITH AWWA SPECIFICATION C601. THE CONTRACTOR WILL BE REQUIRED TO RECHLORINATE, IF NECESSARY, AND THE LINE SHALL NOT BE PLACED IN SERVICE UNTIL THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, WATER SUPPLY AND POLLUTION CONTROL DIVISION ARE MET, AND THE ENGINEER IS PROVIDED WITH A COPY OF THE RESULTS FROM THE APPROVED LABORATORY.
 - ALL COSTS ASSOCIATED WITH THE DISINFECTION OF WATER MAINS, INCLUDING ALL LAB ANALYSIS SHALL BE BORNE BY THE CONTRACTOR.

SIGHT DISTANCE PLAN & DETAILS
TAX MAP 28 LOTS 001 & 002
TAX MAP 25 LOT 014-001
#69-71 BIRCH STREET & #3 KENDALL POND ROAD
DERRY, NEW HAMPSHIRE 03038

OWNER OF RECORD / PREPARED FOR
71 BIRCH STREET, LLC
230 HAMPSTEAD ROAD
DERRY, NEW HAMPSHIRE 03038
RCRD BOOK 6455/PAGE 413

OWNER OF RECORD
BRANDON & ILEANA HERNANDEZ-CLEGG
3 KENDALL POND ROAD
DERRY, NEW HAMPSHIRE 03038
RCRD BOOK 6495/PAGE 2458

SCALE: AS NOTED SHEET 3 of 3 JUNE 23, 2023

WATER SERVICE	10/27/23
TRC REVISIONS	8/1/23
REVISIONS	DATE

APPROVED BY THE TOWN OF DERRY, NH PLANNING BOARD

On Date: _____

Certified By: _____

CHAIRMAN _____

SECRETARY _____

