

Planning Department, August 1, 2018

APPLICANT: 23 Crystal Avenue, LLC.

DEVELOPER: Anagnost Realty & Development

PROJECT: Crystal Place

LOCATION: Parcel ID 32030, 23 Crystal Ave.

PURPOSE: The purpose of this site plan is for a mixed-use and redevelopment of the former Merrimack Valley Wood Products site. The new project will include a bank, urgent care, physical therapy, spa, and light industrial uses. The property is in the General Commercial zoning district.

TOWN DEPARTMENT SIGNATURES: All town departments have reviewed and signed the plan.

WAIVERS: See memorandum dated July 26, 2018, from The Dubai Group, Inc. for

LDCR Article XI Section 170.-64.B.1 (15' tree strip)

STATE PERMITS: NHDES-Alteration of Terrain permit (pending).

RECOMMENDATION: Staff would recommend approval of the site plan application. However, staff would not support the waiver request. Prior commercial projects have had the street tree strip and added to the overall attractiveness of the developments and in this particular project would enhance the continuing visual improvements on Crystal Ave. by having the tree plantings.

BY:



George H. Sioras, Planning Director



The Dubai Group, Inc.

84 Range Road, Windham, NH 03087
(603) 458-6462 thedubaygroup.com

M E M O R A N D U M

To: Derry Planning Board
From: Karl Dubay

Date: 26 July 2018
Re: 23 Crystal Avenue - CUP & Waiver

This memo summarizes the simplified CUP/Waiver request, reflective of the simplified plans. For example, the work near the wetlands has been greatly simplified and naturalized, and the waiver list has been reduced to one.

Conditional Use Permit (CUP) per Article X Section 154-80.B.2.a-d (wetlands):

- a. Essential to the productive use of land not within the Wetlands Conservation Overlay District – *The wetland impact permit issued by NHDES recognizes that the redevelopment could occur in a thoughtful manner, and squared-off with the previous development that has been in place for more than several decades. This configuration allows re-use of the existing building in place, and providing a new building closer to the existing road.*
- b. Design minimizes detrimental impact upon the wetland, and the site will be restored as nearly as possible to its original condition – *The slopes between the wetland and the parking areas are shallow and will be re-vegetated to naturalized conditions. The design also reduces pavement and lowers the proposed parking grades closer to original conditions than the previously-permitted design. All pavement runoff is captured and treated with forebay and infiltration pond media, thus replenishing the aquifer.*
- c. No alternative which does not cross a wetland, or has less detrimental impact on the wetland, is feasible – *the limits of the proposed pavement have been pulled away from the wetlands from the original NHDES wetland permit that is in place, and stabilized stone embankment structures have been replaced with naturalized flatter vegetated slopes.*
- d. Economic advantage alone is not reason for the proposed construction - *this redevelopment site has been reduced in terms of proposed density and intensity from the wetland permit issued by NHDES. Economic advantage on this design is balanced with less density and reduced cost, thus arriving at a much better solution for protecting the adjacent wetlands. The proposed building program has been reduced and also has been moved away from the wetlands and towards the street.*

Waiver of LDCR Section 170-64.B.1 (street tree strip width & trees) –

The existing frontage is wholly paved and has essentially ZERO street tree strip. The proposal is to add a curbed sidewalk supplemented by a landscaped strip which will range from 3 to >15 feet in width off the ROW (15 feet was required). The effective visual strip will appear wider than 15 feet to the back of the new proposed sidewalk along the road. The strip varies in width to accommodate the rebuild of the site and existing building. The Board preferred low variety landscaping instead of any trees (6 were required) to retain visual safety between both the ice cream and church lot activities that respectively flank the site.



14' - 0"

3' - 0"

6' - 0"

6' - 6"

40' - 0"

CRYSTAL
PLAZA

INTERNALLY ILLUMINATED ELECTRIC SIGN BOX WITH ALUMINUM FACES AND PUSH THROUGH PLEXIGLAS GRAPHICS

INTERNALLY ILLUMINATED ELECTRIC SIGN BOX WITH LED LIGHTING AND TRANSLUCENT GRAPHICS FOR TENANTS

Welcome to
CRYSTAL
PLAZA

FULL COLOR ELECTRONIC MESSAGE CENTER 6 X 13 MATRIX

ALUMINUM SKIRTING WITH INDIRECT LED LIGHTING

The Sign Gallery

CORPORATE SIGN IDENTITY

artwork exclusive property of:
the sign gallery
101 WEST RIVER RD,
HOOKSETT, NH 03106
(603)622-7212; FAX:(603)622-7221

© Copyright The Sign Gallery, 2018

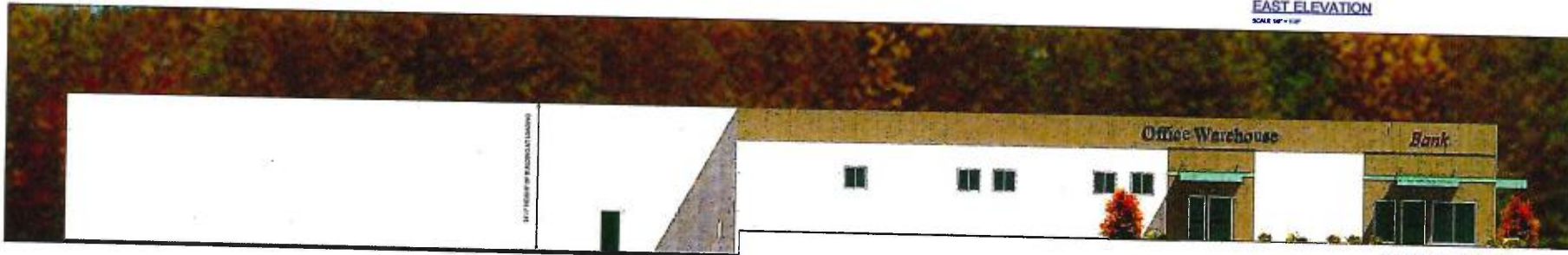
NAME: CRYSTAL PLAZA	
LOCATION: DERRY, NH	
DATE: 1.22.18	REV.
DRAWN BY: JT	DWG. # CP-200



EAST ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"



NORTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/8" = 1'-0"

DO NOT SCALE DRAWINGS UNLESS DIMENSIONS OTHER THAN 1/8" = 1'-0" ARE SHOWN OTHERWISE DIMENSIONS FROM THIS ARCHITECT'S PLANS SHALL BE USED FOR CONSTRUCTION OF THIS WORK.

JUNE 20, 2018

BURNELL	JOHNSON
ARCHITECTS	
60 BRIDGE STREET	SMASHVILLE, N.H.
603-885-0000	603-885-0000
603-885-0000	603-885-0000
23 Crystal Ave	
Derry New Hampshire	

DATE: MAY 1, 2018
A-2.1
COLOR

U 28.18



NORTH ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/8" = 1'-0"

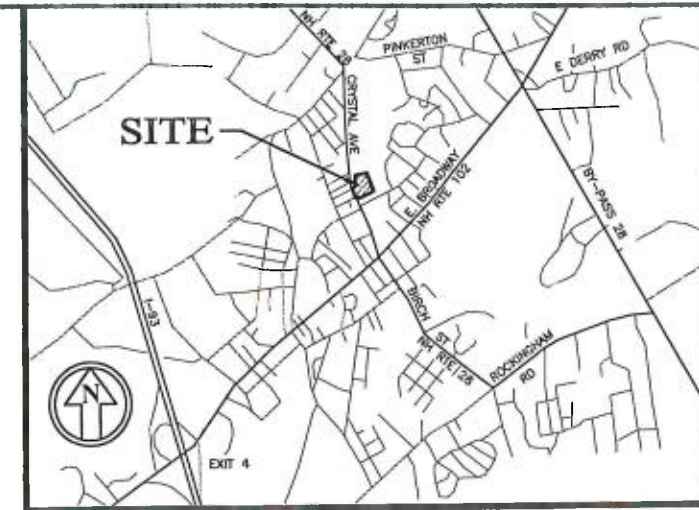
BURNELL	JOHNSON
ARCHITECTS	
40 BRANK STREET	
LEEDS - 285-0200	
FAX - 285-0205	
MEDICAL SPA, Dent, New Hampshire	
ANAGNOST PROPERTIES	

	A-2.1
	COLOR

DESIGNER'S OFFICE: 147 WEST 10TH AVENUE, SUITE 200, DENVER, CO 80202
CONSULTING: 1011 E. RILEY FOR CLARIFICATION AND/OR CONSULTING WITH THE WORK

SITE PLAN REDEVELOPMENT

DERRY, NEW HAMPSHIRE




The Dubai Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors

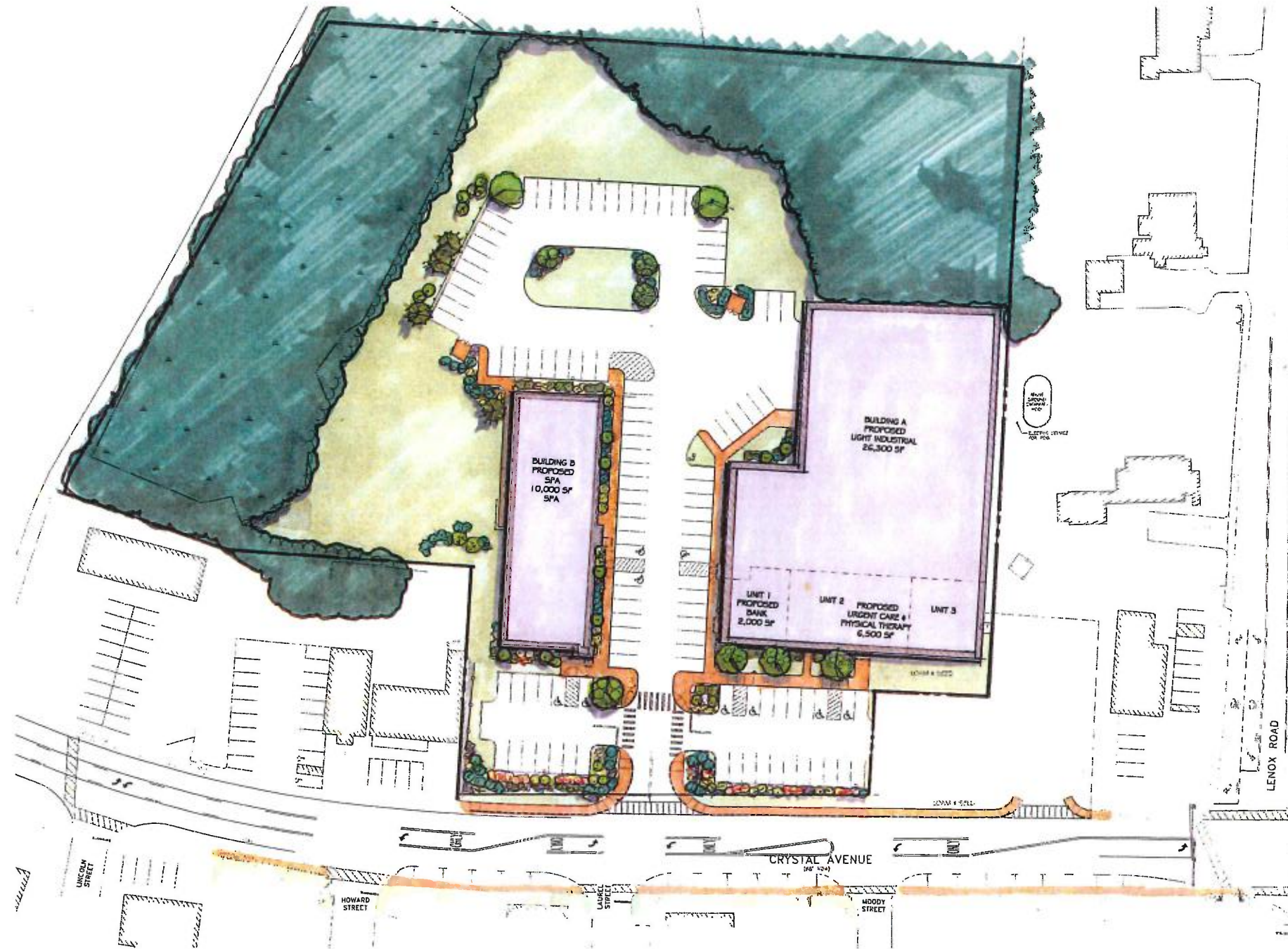
TheDubayGroup.com



RECEIVED

JUL 26 2018

PLANNING DEPARTMENT



SHEET INDEX

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REVISIONS:			
REV.	DATE	COMMENT	BY:
1	6/25/18	REVS PER TRC	WA
2	7/16/18	MISC. REVS	WA
3	7/23/18	MISC. REVS	WA

DRAWN BY: WA
CHECKED BY: KRD
DATE: JUNE 14, 2018
SCALE: NTS
FILE: 313-COVER
DEED REF: -

PROJECT: **SITE PLAN
REDEVELOPMENT
CRYSTAL PLAZA**
MAP 32 LOT 3D
23 CRYSTAL AVE.
DERRY, NH

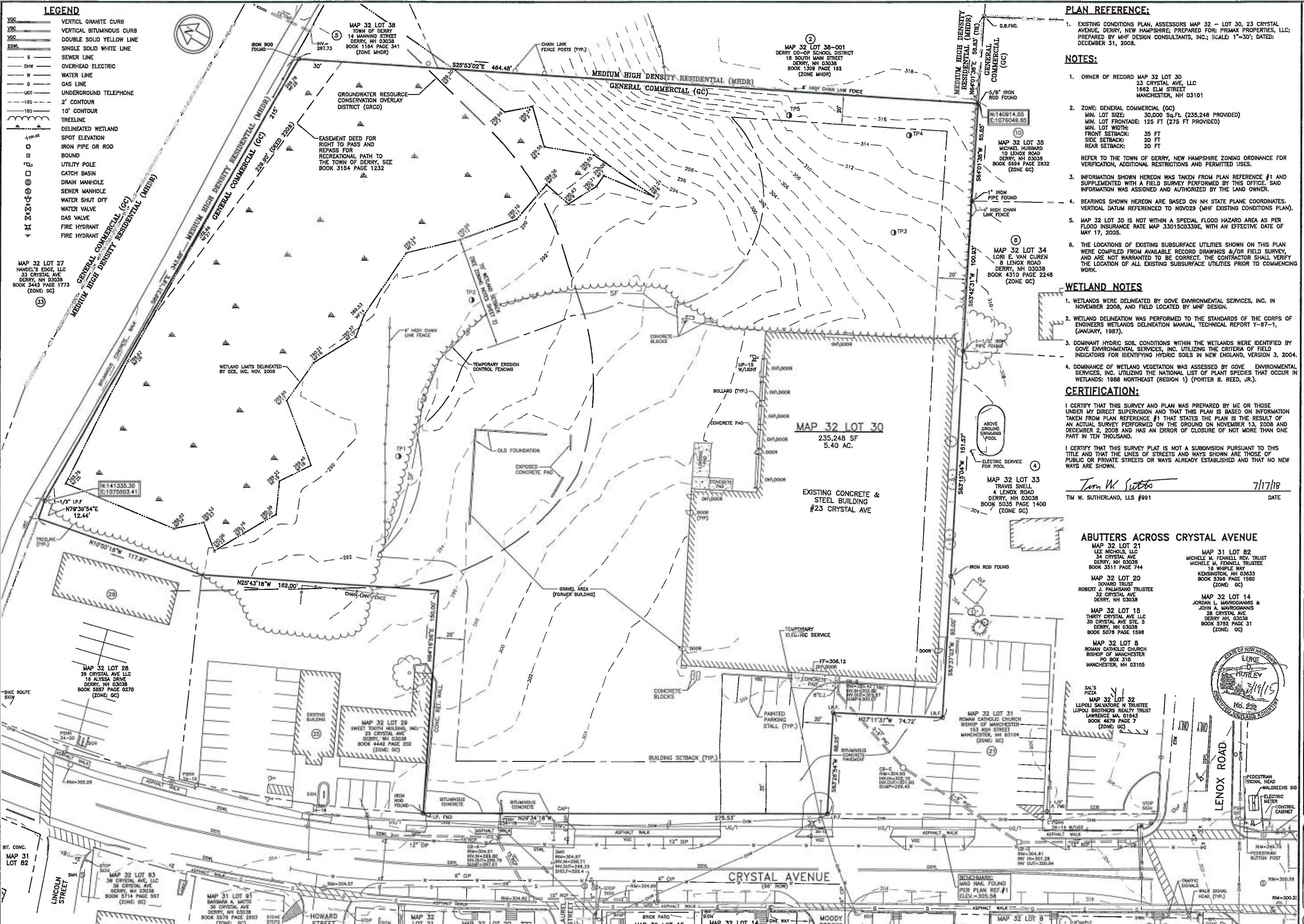
OWNER:
23 CRYSTAL AVE, LLC
1662 ELM STREET
MANCHESTER, NH 03101

TOWN OF DERRY SIGNATURE BLOCK	
PUBLIC WORKS DIRECTOR _____	DATE _____
CODE ENFORCEMENT OFFICER _____	DATE _____
FIRE DEPARTMENT _____	DATE _____
CONSERVATION COMMISSION CHAIR _____	DATE _____
POLICE DEPARTMENT _____	DATE _____
OWNER'S SIGNATURE _____ DATE _____	
CRYSTAL REALTY ASSOCIATES INC	
THE DERRY N.H. PLANNING BOARD	
ON DATE: _____	
CERTIFIED BY: _____	DATE _____
CHAIRMAN _____	DATE _____
SECRETARY _____	DATE _____

SHEET TITLE:

TITLE SHEET

I:\PROJECTS\313-23 Crystal Redevelopment\DWG\CURRENT\313-COVER.dwg



- ### LEGEND
- VERTICAL GRANITE CURB
 - VERTICAL BITUMINOUS CURB
 - DOUBLE SOLID YELLOW LINE
 - SINGLE SOLID WHITE LINE
 - SEWER LINE
 - OVERHEAD ELECTRIC
 - WATER LINE
 - GAS LINE
 - UNDERGROUND TELEPHONE
 - 2' CONTOUR
 - 10' CONTOUR
 - TREELINE
 - DELINEATED WETLAND
 - SPOT ELEVATION
 - IRON PIPE OR ROD
 - BOUND
 - UTILITY POLE
 - CATCH BASIN
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - WATER SHUT OFF
 - WATER VALVE
 - GAS VALVE
 - FIRE HYDRANT

PLAN REFERENCE:

1. EXISTING CONDITIONS PLAN, ASSESSORS MAP 32 - LOT 30, 23 CRYSTAL AVENUE, DERRY, NEW HAMPSHIRE, PREPARED FOR: PRIMA PROPERTIES, LLC; PREPARED BY: MHF DESIGN CONSULTANTS, INC.; SCALE: 1"=30'; DATED: DECEMBER 31, 2008.

NOTES:

1. OWNER OF RECORD MAP 32 LOT 30 23 CRYSTAL AVE, LLC 1662 ELM STREET MANCHESTER, NH 03101
2. ZONE: GENERAL COMMERCIAL (GC) MIN. LOT SIZE: 30,000 Sq.Ft. (235,248 PROVIDED) MIN. LOT FRONTAGE: 125 FT (275 FT PROVIDED) MIN. LOT WIDTH: 35 FT FRONT SETBACK: 20 FT SIDE SETBACK: 20 FT REAR SETBACK: 20 FT
3. INFORMATION SHOWN HEREON WAS TAKEN FROM PLAN REFERENCE #1 AND SUPPLEMENTED WITH A FIELD SURVEY PERFORMED BY THE LAND OWNER.
4. BEARINGS SHOWN HEREON ARE BASED ON NH STATE PLANE COORDINATES. VERTICAL DATUM REFERENCED TO NAVD83 (MHF EXISTING CONDITIONS PLAN).
5. MAP 32 LOT 30 IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS PER FLOOD INSURANCE RATE MAP 33015C0339E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
6. THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS &/OR FIELD SURVEY, AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO COMMENCING WORK.

WETLAND NOTES

1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN NOVEMBER 2008, AND FIELD LOCATED BY MHF DESIGN.
2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).

CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS BASED ON INFORMATION TAKEN FROM A PLAN REFERENCE #1 THAT STATES THE PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND ON NOVEMBER 13, 2008 AND DECEMBER 2, 2008 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

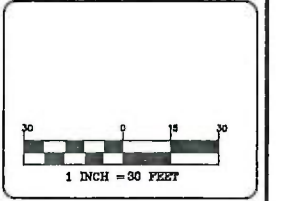
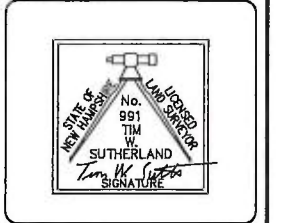
Tim W. Sutherland 7/17/18
 TIM W. SUTHERLAND, LLS #991 DATE

ABUTTERS ACROSS CRYSTAL AVENUE

- MAP 32 LOT 21 LEE NICHOLS, LLC 34 CRYSTAL AVE DERRY, NH 03038 BOOK 3511 PAGE 744
- MAP 32 LOT 20 DOVARD TRUST PALMISANO TRUSTEE 32 CRYSTAL AVE DERRY, NH 03038
- MAP 32 LOT 15 THIRTY CRYSTAL AVE LLC 30 CRYSTAL AVE STE. 5 DERRY, NH 03038 BOOK 5078 PAGE 1598
- MAP 32 LOT B ROMAN CATHOLIC CHURCH BISHOP OF MANCHESTER 70 BOX 310 MANCHESTER, NH 03105
- MAP 31 LOT 82 MICHELE M. FENNELL REV. TRUST MICHELE M. FENNELL TRUSTEE 18 WHIPLE WAY KENSINGTON, NH 03833 BOOK 5398 PAGE 1580 (ZONE GC)
- MAP 32 LOT 14 JORDAN L. MAVROGIANNIS & JOHN A. MAVROGIANNIS 28 CRYSTAL AVE DERRY, NH 03038 BOOK 5782 PAGE 31 (ZONE GC)
- MAP 32 LOT 32 LUPOLI SALVATORE N. TRUSTEE LUPOLI BROTHERS REALTY TRUST LAWRENCE M. 01843 BOOK 4679 PAGE 7 (ZONE GC)

The Dubai Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



REV.	DATE	REVISIONS:	BY:
2	7/18/18	MISC. REVS	WA

DRAWN BY: WEA
 CHECKED BY: TWS
 DATE: JUNE 14, 2018
 SCALE: 1"=30'
 FILE: 313-ws
 DEED REF: -

PROJECT: **SITE PLAN REDEVELOPMENT CRYSTAL PLAZA**
 MAP 32 LOT 30
 23 CRYSTAL AVE.
 DERRY, NH
 OWNER

23 CRYSTAL AVE, LLC
 1662 ELM STREET
 MANCHESTER, NH 03101

SHEET TITLE: **EXISTING CONDITIONS PLAN**

PROJECT #313 SHEET 3 of 21

N:\PROJECTS\313-23 Crystal Plaza\Survey\313-ws.dwg



MAP 32 LOT 27

MAP 32 LOT 38

MAP 32 LOT 38-001

MAP 32 LOT 35

MAP 32 LOT 34

MAP 32 LOT 33

MAP 32 LOT 29
SWEET TOOTH HOLDING, INC
25 CRYSTAL AVE
DERRY, NH 03038

MAP 32 LOT 28
29 CRYSTAL AVE LLC
16 ALYSSA DRIVE
DERRY, NH 03038

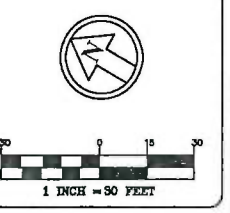
MAP 31 LOT 27
ROMAN CATHOLIC CHURCH
BISHOP OF MANCHESTER
153 ASH STREET
MANCHESTER, NH 03104

MAP 32 LOT 32
LUPOLI SALVATORE N TRUSTEE
LUPOLI BROTHERS REALTY TRUST
LAWRENCE, MA 01843



The Dubai Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



REV.	DATE	REVISIONS	BY
1	8/25/18	REVS PER TRC	WA
2	7/18/18	MISC. REVS	WA
3	7/23/18	MISC. REVS	WA

DRAWN BY: WA
CHECKED BY: DGM
DATE: JUNE 14, 2018
SCALE: 1"=30'
FILE: 313-SITE
DEED REF:

PROJECT:
**SITE PLAN
REDEVELOPMENT
CRYSTAL PLAZA**
MAP 32 LOT 30
23 CRYSTAL AVE.
DERRY, NH
OWNER

23 CRYSTAL AVE, LLC
1662 ELM STREET
MANCHESTER, NH 03101

SHEET TITLE:
SITE PLAN

PROJECT #313 SHEET 5 OF 21

GENERAL NOTES:

1. THE SUBJECT PARCEL IS ZONED GENERAL COMMERCIAL (GC DISTRICT) AND IS SITUATED IN THE GROUNDWATER RESOURCE (OVERLAY) CONSERVATION DISTRICT.
2. THE PROPOSED LOT WILL BE SERVED BY TOWN WATER AND TOWN SEWER.
3. ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF DERRY REGULATIONS. ALL ROADS, STRUCTURES, AND DRAINAGE TO MEET TOWN OF DERRY SPECIFICATIONS.
4. GENERAL COMMERCIAL ZONING REQUIREMENTS:
MINIMUM LOT AREA = 30,000 SF WITH SEWER
MINIMUM FRONTAGE = 125' - (PROVIDED 275')
FRONT SETBACK = 35' - (PROVIDED 89')
SIDE SETBACK = 20' - (PROVIDED 22')
REAR SETBACK = 20' - (PROVIDED 233')
5. THE TOTAL AREA OF THE PARCEL TO BE DISTURBED BY SITE IMPROVEMENT ACTIVITIES IS APPROXIMATELY 214,465 SQUARE FEET, NECESSITATING A NHDES ALTERATION OF TERRAIN PERMIT.
6. IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CAPACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LEGAL DUMPING SITE.
7. THIS PLAN SET CONTAINS A TOTAL OF 21 SHEETS. SHEET 5 WILL BE RECORDED AT THE R.C.R.D. AND THE FULL SET OF PROJECT PLANS IS ON FILE AT THE DERRY PLANNING DEPT.
8. ALL CATCH BASINS & THE INFILTRATION SYSTEM SHALL BE CLEANED OF DEBRIS TWICE PER YEAR & INSPECTED TO MAKE SURE THEY ARE OPERATING AS DESIGNED. THE TIME OF REMOVAL OF DEBRIS SHOULD BE IN THE SPRING AND FALL SEASONS.
9. SEE ARCHITECTURAL PLANS FOR WALKWAYS AND OTHER FEATURES AT THE BUILDINGS. CONTRACTOR TO PERFORM THIS WORK AS DIRECTED BY THE OWNER.
10. THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. THE DUBAY GROUP, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT NEW HAMPSHIRE DIG-SAFE TO CONFIRM UTILITY LOCATIONS.
11. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE TOWN OF DERRY'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
13. SNOW AND ICE CONTROL SHALL BE PERFORMED BY A "GREEN SNO-PRO" CERTIFIED CONTRACTOR FOLLOWING BEST MANAGEMENT PRACTICES FOR THE APPLICATION OF DE-ICING MATERIALS.
14. A MINIMUM DRIVE AISLE WIDTH OF 24 FEET IS TO BE MAINTAINED THROUGHOUT THE PROJECT.
15. CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SWEEPERS AS DEEMED NECESSARY BY THE TOWN INSPECTOR.
16. PARKING REQUIREMENTS:
LIGHT INDUSTRIAL = 26,328 GSF x (1 SPACE/1,200 SF) = 22 SPACES REQUIRED
BANK = 2,000 SF x (1 SPACE/300 SF) = 7 SPACES REQUIRED
MEDICAL = 6,500 SF x (1 SPACE/200 SF) = 33 SPACES REQUIRED
SPA/RETAIL = 10,000 GSF x (1 SPACE/200 SF) = 50 SPACES REQUIRED
REQUIRED & PROVIDED SPACES = 112 TOTAL
NO SPACES ARE CREDITED WHICH ARE SHOWN ON OR EXPANDING TO ADJACENT PARCELS.
17. ALL MISSING BOUNDARY MONUMENTATION SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR.
18. ALL LINE WORK IN CRYSTAL AVENUE SHALL BE PROPERLY LAYED OUT BY THE CONTRACTOR & INSPECTED BY THE TOWN PRIOR TO PAINTING.
19. IF SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR TABLE 3800) THE DEVELOPER WILL CONTACT THE NH COOPERATIVE EXTENSION SERVICE REGARDING RECOMMENDATIONS ON THE REMOVAL AND DISPOSAL OF THE INVASIVE SPECIES.
20. ALL PAVEMENT PROPOSED TO BE REMOVED SHALL BE SAW CUT AT THE LIMITS OF REMOVAL
21. PRIOR TO CONSTRUCTION, CONTACT DIG-SAFE CENTER. TOLL FREE AT 811, NEW HAMPSHIRE STATE LAW REQUIRES NOTIFICATION AT LEAST 3 BUSINESS DAYS BEFORE DIGGING OPERATIONS START.
22. PERMITS:
NHDES WETLAND IMPACT _____
NHDES ALTERATION OF TERRAIN _____
NHDES SEWER DISCHARGE _____
23. OWNER TO ACQUIRE A TEMPORARY CONSTRUCTION EASEMENT WITH ADJUTING LOT OWNER. IF NOT ATTAINABLE, FOREGO THE SIDEWALK AND BLEND TO EXISTING PAVEMENT VIA SAWCUT AT THE PROPERTY LINE TO PROVIDE CONTINUED PEDESTRIAN ACCESS.

OWNER'S SIGNATURE _____ DATE _____

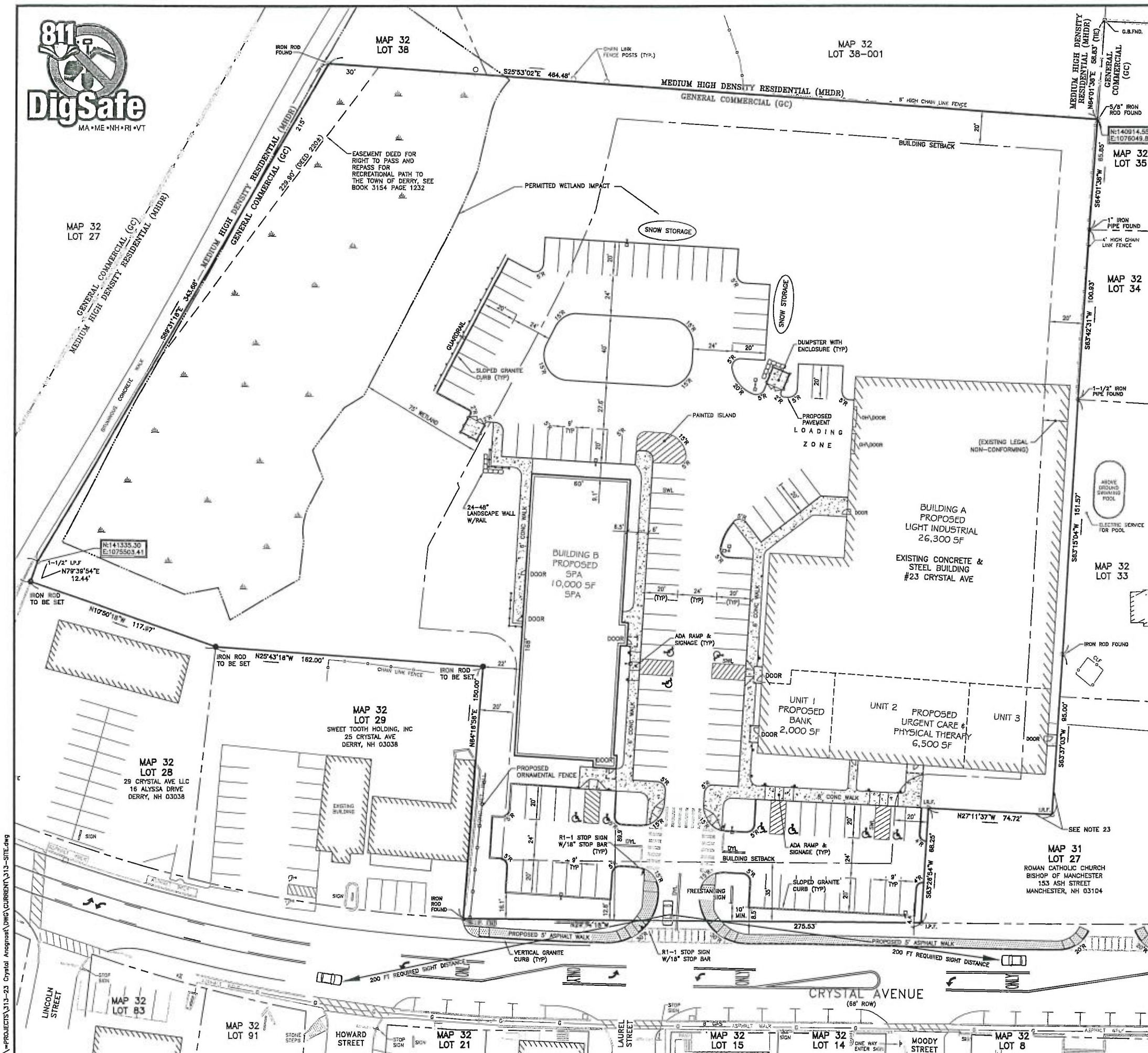
THE DERRY N.H. PLANNING BOARD

ON DATE: _____

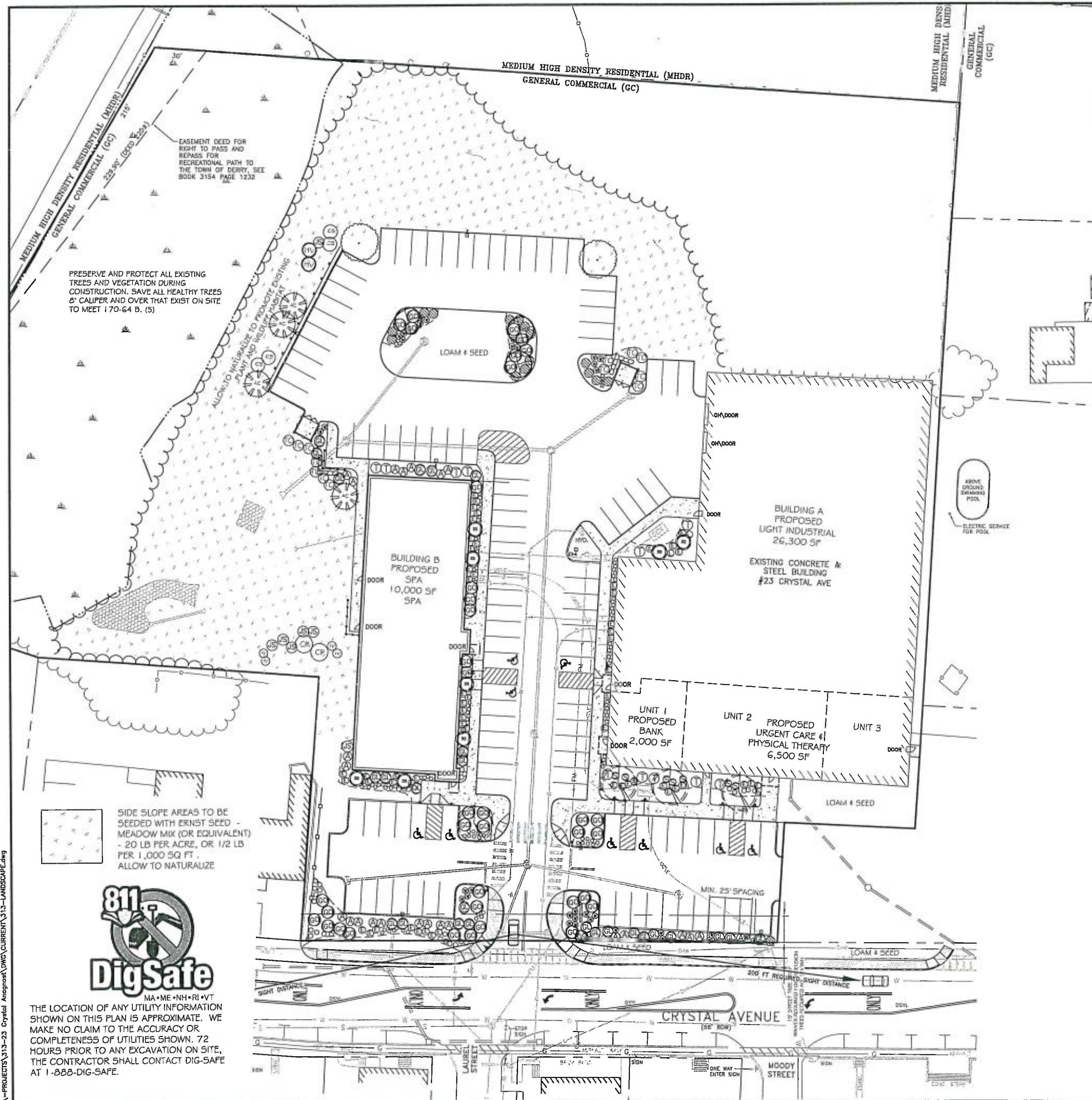
CERTIFIED BY: _____ DATE _____

CHAIRMAN _____

SECRETARY _____ DATE _____



N:\PROJECTS\313-23 Crystal Anagnost\DWG\CURRENT\313-SITE.dwg



LANDSCAPE & BUFFERING REQUIREMENTS

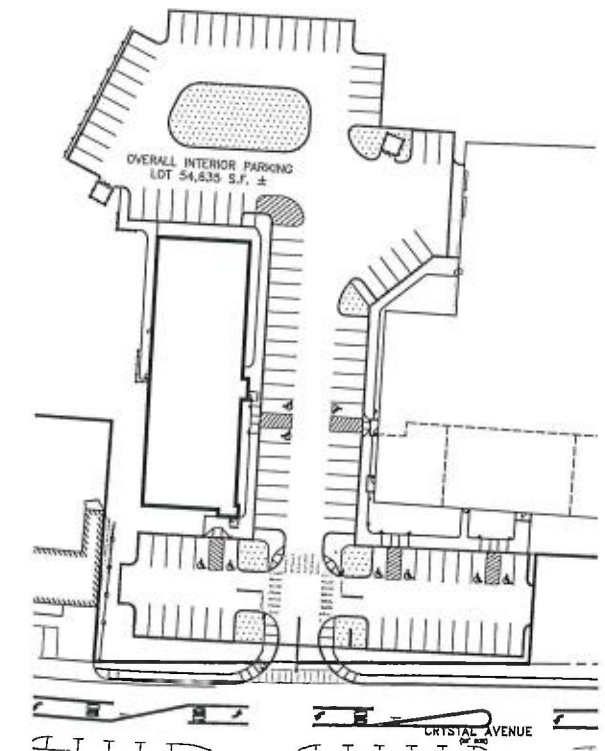
XI-170-64 A.3 A MIN. OF 1/3 OF THE GROSS LOT AREA SHALL BE RESERVED AS GREEN SPACE. SEE SITE PLAN SET.

XI-170-64 B.1 STREET TREE STRIP, 15 FEET IN WIDTH, RUNNING PARALLEL TO THE FRONTAGE 275.53' / 50' = 5.5 OR 6 TREES REQ. 6 TREES PROP, WAIVER REQUESTED FOR WIDTH OF STREET TREE STRIP & PLANTING OF TREES.
 SUBSTITUTE A BLEND OF SHRUBS, ANNUALS, AND POTTED FEATURES PER RECOMMENDATION OF THE PLANNING BOARD.

XI-170-64 B.2 A MINIMUM OF ONE DECIDUOUS OR ORNAMENTAL TREE, WITH A MINIMUM CALIPER DIAMETER OF 2.5 INCHES, PER 30 L.F. OF BUILDING PERIMETER SHALL BE PLANTED WITHIN THE DEVELOPED PORTION OF ANY SITE.
 PROPOSED SPA 473 +/- L.F. / 30 = 15.8 OR 16 TREES REQUIRED
 PROPOSED WAREHOUSE/BANK/URGENT CARE B06 +/- L.F. / 30 = 26.9 OR 27 TREES REQUIRED
 43 TREES REQUIRED - 21 PROPOSED
 22 PLUS 8" CAL. TREES WILL BE RETAINED ON SITE PER 170-64 B. (5)

XI-170-64 B.3 A MINIMUM OF ONE DECIDUOUS OR EVERGREEN SHRUB, WITH A MINIMUM HEIGHT AND DIAMETER 1 1/2 INCHES, PER TWO REQUIRED PARKING SPACES SHALL BE PLANTED WITHIN THE DEVELOPED PORTION OF ANY SITE.
 112 SPACES / 2 = 56 SHRUBS REQUIRED 56+ SHRUBS PROPOSED

XI-170-64 B.4 AT LEAST 25% OF TREES AND SHRUBS REQUIRED UNDER THIS SECTION SHALL BE PLANTED WITHIN CURBED, RAISED LANDSCAPED ISLANDS SITUATED WITHIN PARKING AREAS OR OTHER PAVED AREAS OF ANY SITE.



PARKING LOT INTERIOR LANDSCAPE
 SCALE: 1"=60'
 LDCR 170-63A.8
 5% MIN. INTERIOR LANDSCAPE OF PARKING LOT (MIN).
 AREA = 54,635± SF PARKING LOT
 LANDSCAPE = 5,616 SF± =10.3% (COMPLIES)

PRESERVE AND PROTECT ALL EXISTING TREES AND VEGETATION DURING CONSTRUCTION. SAVE ALL HEALTHY TREES 6" CALIPER AND OVER THAT EXIST ON SITE TO MEET 170-64 B. (5)

EASEMENT DEED FOR RIGHT TO PASS AND REPAIR FOR RECREATIONAL PATH TO THE TOWN OF DERRY, SEE BOOK 3154 PAGE 1232

ALLOW TO NATURALIZE TO PROMOTE EXISTING PLANT AND ANIMAL HABITAT

SIDE SLOPE AREAS TO BE SEEDED WITH ERNST SEED - MEADOW MIX (OR EQUIVALENT) - 20 LB PER ACRE, OR 1/2 LB PER 1,000 SQ FT. ALLOW TO NATURALIZE



THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. WE MAKE NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE.

The Dubai Group, Inc.
 84 Range Road
 Windham, NH 03097
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com

REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	5/25/18	REVS PER TRC	WA
1	7/23/18	MISC. REVS	WA

DRAWN BY: WA
 CHECKED BY: DGM
 DATE: JUNE 14, 2018
 SCALE: 1"=30'
 FILE: 313-LANDSCAPE
 DEED REF: -

PROJECT:
**SITE PLAN
 REDEVELOPMENT
 CRYSTAL PLAZA**
 MAP 32 LOT 30
 23 CRYSTAL AVE.
 DERRY, NH

OWNER
23 CRYSTAL AVE, LLC
 1682 ELM STREET
 MANCHESTER, NH 03101

SHEET TITLE:
**LANDSCAPE
 PLAN**

X:\PROJECTS\313-23 Crystal Annapolis\DWG\CURRENT\313-LANDSCAPE.dwg

Prepared by the Invasive Species Outreach Group, volunteers interested in helping people control invasive plants. Assistance provided by the Planting Land Conservancy and the NH Invasive Species Committee. Edited by Karen Bennett, Extension Forestry Professor and Specialist.



Japanese Knotweed
Japanese knotweed
UNIVERSITY OF NEW HAMPSHIRE Cooperative Extension
A. Bennett, 2015 - in cooperation with the Invasive Species Committee, the New Hampshire Forestry Department, and the NH Invasive Species Committee.

Non-native invasive plants crowd out natives in natural and managed landscapes. They cost taxpayers billions of dollars each year from lost agricultural and forest crops, decreased biodiversity, impacts to natural resources and the environment, and the cost to control and eradicate them.

Invasive plants grow well even in less than desirable conditions such as sandy soils along roadsides, shaded wooded areas, and in wetlands. In ideal conditions, they grow and spread even faster. There are many ways to remove these non-native invasives, but once removed, care is needed to dispose the removed plant material so the plants don't grow where disposed.

Knowing how a particular plant reproduces indicates its method of spread and helps determine the appropriate disposal method. Most are spread by seed and are dispersed by wind, water, animals, or people. Some reproduce by vegetative means from pieces of stems or roots forming new plants. Others spread through both seed and vegetative means.

Because movement and disposal of viable plant parts is restricted (see NH Regulations), viable invasive parts can't be brought to most transfer stations in the state. Check with your transfer station to see if there is an approved, designated area for invasive disposal. This fact sheet gives recommendations for rendering plant parts non-viable.

Control of invasives is beyond the scope of this fact sheet. For information about control visit www.nhinvasives.org or contact your UNH Cooperative Extension office.

New Hampshire Regulations

Prohibited invasive species shall only be disposed of in a manner that renders them non-viable and non-bleeds. (Agr. 3802.04)
No person shall collect, transport, import, export, move, buy, sell, distribute, propagate or transplant any living and viable portion of any plant species, which includes all of their cultivars and varieties, listed in Table 589.1 of the New Hampshire prohibited invasive species list. (Agr. 3802.01)

Suggested Disposal Methods for Non-Native Invasive Plants

This table provides information concerning the disposal of removed invasive plant material. If the infestation is treated with herbicide and left in place, these guidelines don't apply. Don't bring invasives to a local transfer station, unless there is a designated area for their disposal, or they have been rendered non-bleeds. This listing includes wetland and upland plants from the New Hampshire Prohibited Invasive Species List. The disposal of aquatic plants isn't addressed.

Woody Plants	Method of Reproducing	Methods of Disposal
Norway maple (<i>Acer platanoides</i>) European larch (<i>Larix laricina</i>) Japanese barberry (<i>Berberis thunbergii</i>) European olive (<i>Olea europaea</i>) burning bush (<i>Elaeagnus angustifolia</i>) Norway spruce (<i>Picea abies</i>) Morrow's honeysuckle (<i>Lonicera morrowii</i>) Tatarian honeysuckle (<i>Lonicera x tatarica</i>) showy bush honeysuckle (<i>Lonicera x subae</i>) common buckthorn (<i>Rhamnus cathartica</i>) goose buckthorn (<i>Rhamnus obtusifolia</i>)	Fruit and Seeds	Prior to fruit/seed ripening Seedlings and small plants • Pull or cut and leave on site with roots exposed. No special care needed. Larger plants • Use as firewood. • Make a brush pile. • Chip. • Burn. After fruit/seed is ripe Don't remove from site. • Burn. • Make a covered brush pile. • Chip once all fruit has dropped from branches. • Leave resulting chips on site and mulch.
oriental bittersweet (<i>Xylocopa arbutifolia</i>) multiflora rose (<i>Rosa multiflora</i>)	Fruits, Seeds, Plant Fragments	Prior to fruit/seed ripening Seedlings and small plants • Pull or cut and leave on site with roots exposed. No special care needed. Larger plants • Make a brush pile. • Burn. After fruit/seed is ripe Don't remove from site. • Burn. • Make a covered brush pile. • Chip - only after material has fully dried (1 year) and all fruit has dropped from branches. Leave resulting chips on site and mulch.

How and When to Dispose of Invasives?

To prevent seed from spreading remove invasives before seeds are set (produced). Some plants continue to grow, flower and set seed even after pulling or cutting. Seeds can remain viable in the ground for many years. If the plant has flowers or seeds, place the flowers and seeds in a heavy plastic bag "head first" at the weeding site and transport to the disposal site. The following are general descriptions of disposal methods. See the chart for recommendations by species.

Burning: Large woody branches and trunks can be used as firewood or burned in piles. For outside burning, a written fire permit from the local forest fire warden is required unless the ground is covered in snow. Brush larger than 5 inches in diameter can't be burned. Invasive plants with easily airborne seeds like black swallowtail with mature seed pods (indicated by their brown color) shouldn't be burned as the seeds may disperse by the hot air created by the fire.



Japanese Knotweed
UNIVERSITY OF NEW HAMPSHIRE Cooperative Extension
B. Bennett, 2015 - with A. Bennett, 2015, in cooperation with the Invasive Species Committee.

Bagging (isolation): Use this technique with softer-tissue plants. Use heavy black or clear plastic bags (connecter grade), making sure that no parts of the plants poke through. Allow the bags to sit in the sun for several weeks and on dark pavement for the best effect.

Tarping and Drying: Pile material on a sheet of plastic and cover with a tarp, fastening the tarp to the ground and monitoring it for escapes. Let the material dry for several weeks, or until it is clearly nonviable.

Chipping: Use this method for woody plants that don't reproduce vegetatively.

Burying: This is risky, but can be done with watchful diligence. Lay thick plastic in a deep pit before placing the cut up plant material in the hole. Place the material away from the edge of the plastic before covering it with more heavy plastic. Eliminate as much air as possible and toss in soil to weight down the material in the pit. Note that the top of the burial material should be at least three feet underground. Japanese knotweed should be at least 5 feet underground!

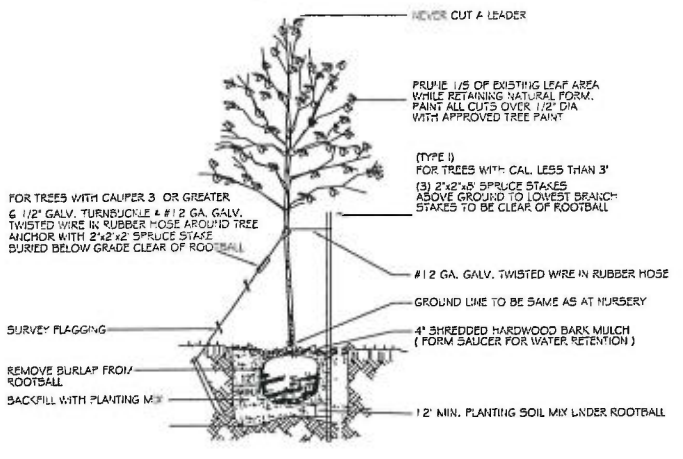
Drowning: Fill a large barrel with water and place soft-tissue plants in the water. Check after a few weeks and look for rotted plant material (roots, stems, leaves, flowers). Well-rotted plant material may be composted. A word of caution-seeds may still be viable after using this method. Do this before seeds are set. This method isn't used often. Be prepared for an awful stink!

Composting: Invasive plants can take root in compost. Don't compost any invasives unless you know there is no viable (living) plant material left. Use one of the above techniques (bagging, tarping, drying, chipping, or drowning) to render the plants nonviable before composting. Closely examine the plant before composting and avoid composting seeds.

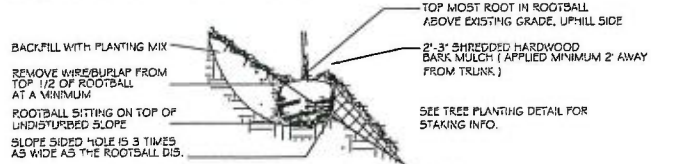
Be diligent looking for seedlings for years in areas where removal and disposal took place.

Non-Woody Plants	Method of Reproducing	Methods of Disposal
garlic mustard (<i>Alliaria petiolata</i>) spotted knapweed (<i>Centaurea maculosa</i>) • Sp. of related knapweed • Can cause skin irritation and blisters. Wear gloves when handling. black swallowtail (<i>Papilio polyx</i>) • Can cause skin rash. Wear gloves and long sleeves when handling. yellow-flowered (<i>Thalictrum flavum</i>) • Can cause skin irritation and blisters. Wear gloves and long sleeves when handling. purple loosestrife (<i>Lythrum salicaria</i>) Japanese stilt grass (<i>Microstegium vimineum</i>) • Can cause skin irritation and blisters. Wear gloves and long sleeves when handling. purple loosestrife (<i>Lythrum salicaria</i>) Japanese stilt grass (<i>Microstegium vimineum</i>) • Can cause skin irritation and blisters. Wear gloves and long sleeves when handling. purple loosestrife (<i>Lythrum salicaria</i>)	Fruits and Seeds	Prior to flowering Depends on size of infestation. Small infestation • Pull or cut plant and leave on site with roots exposed. Large infestation • Pull or cut plant and pile. (You can pile onto one cover with plastic sheeting.) • Monitor. Remove any re-sprouting material. During and following flowering Do nothing until the following year or remove flowering heads and bag and let rot. Small infestation • Pull or cut plant and leave on site with roots exposed. Large infestation • Pull or cut plant and pile. remaining material (You can pile onto plastic or cover with plastic sheeting.) • Monitor. Remove any re-sprouting material.
common reed (<i>Phragmites australis</i>) Japanese knotweed (<i>Polygonum cuscutatum</i>) Belgian knotweed (<i>Polygonum hybridum</i>)	Fruits, Seeds, Plant Fragments	Small infestation • Bag all plant material and let rot. • Never pile and use resulting material as compost. • Burn. Large infestation • Remove material to unsuitable habitat (dry, hot and sunny or dry and shaded location) and soil to pile. • Monitor and remove any sprouting material. • Pile, let dry, and burn.

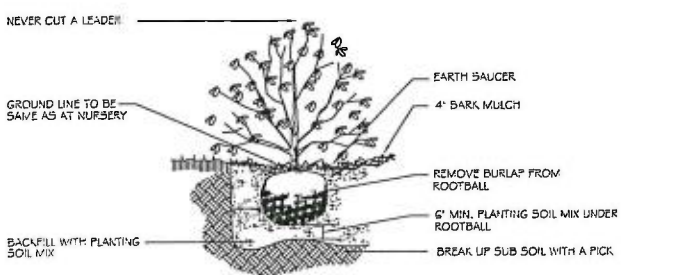
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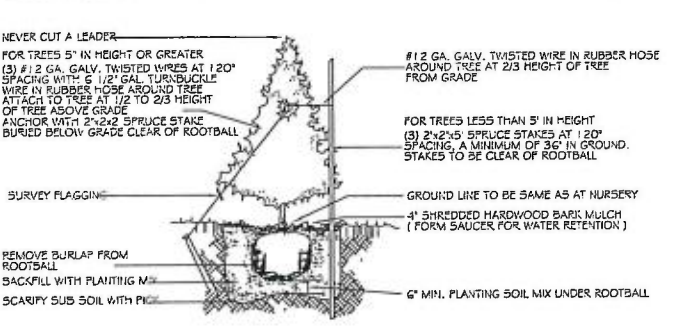
DECIDUOUS TREE PLANTING DETAIL



SLOPE PLANTING DETAIL



SHRUB PLANTING DETAIL



EVERGREEN PLANTING DETAIL

LANDSCAPE NOTES:

- BASE INFORMATION SHOWN ON THIS PLAN IS NOT NECESSARILY CORRECT OR COMPLETE AND WAS TAKEN ENTIRELY FROM BASE PLANS PROVIDED BY THE ARCHITECT/ENGINEER. PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
- WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. DISTURBED SIDE SLOPES SHALL BE ALLOWED TO NATURALLY VEGETATE TO SUSTAIN EXISTING WILDLIFE AND PLANT LIFE.
- THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 2.5" CALIPER WITH EVERGREENS AT 6' HT.
- ALL DISTURBED AREAS SHALL BE LOANED AND SEEDED WITH A MINIMUM OF 6' SUITABLE LOAM, EXCEPT UNDER THE MULCH BEDS. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. (SEE PLANS BY ENGINEER)
- PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.
- ALL TREES SHALL BE BALLED AND BURLAPPED UNLESS OTHERWISE NOTED.
- ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPORTING HAZARD PLANTS DURING THE SPRING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.

- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar as it is PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60 (REV. 1996) AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO

- DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PROOF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
- NO SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR. TABLE 3800) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITES WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPT. OF AGRICULTURE PER RSA 430:55.

LANDSCAPE LEGEND:

- PHASE II**
- 4 SYRINGA RETICULATA / JAPANESE LILAC TREE 2.5" CAL.
 - 6 PYRUS CALLERYANA CHANTICLEER / CHANTICLEER FLOWERING PEAR 2.5" CAL.
 - 3 ACER FREMANII ARMSTRONG / ARMSTRONG MAPLE 2.5" CAL.
 - 8 LIQUIDAMBAR STYRACIFLUA / SLENDER SILHOUETTE / SWEETGUM, SLENDER SILHOUETTE 2.5" CAL.
 - 4 ABIES CONCOLOR / WHITE FIR 8' HT/ B4B
 - 5B TAXUS MEDIA EVER LOW / EVELOW YEW 24'-30'
 - 11 TAXUS MEDIA TAUNTONII / TAUNTON YEW 8' B4B
 - 7 THUJA OCCIDENTALIS NIGRA / TECHNY ABORVITAE 7'-8'
 - 7 JUNIPERUS CHINENSIS SEA GREEN / SEAGREEN JUNIPER 30' B4B
 - 26 JUNIPERUS CHINENSIS GOLD STAR / GOLD STAR JUNIPER 30'
 - 16 JUNIPERUS HORIZONTALIS DEPRESSA PLUMOSA / ANDORA JUNIPER 5 GAL.
 - 35 JUNIPERUS VIRGINIAN GREY OWL / GREY OWL JUNIPER 30' B4B
 - 3 LEUCOTHOE FONTANISANIA GIRARDS RAINBOW / GIRARDS RAINBOW LEUCOTHOE 5 GAL.
 - 31 ROSA NOALA / NOALA CARPET ROSE 3 GAL.
 - 24 SPIRAEA BUMALDA ANTHONY WATERER / ANTHONY WATERER SPIRAEA 5 GAL.
 - 7 SPIRAEA JAPONICA LITTLE PRINCESS/LITTLE PRINCESS SPIRAEA 5 GAL.
 - 33 WEIGELA FLORIDA MIDNIGHT WINE / MIDNIGHT WINE WEIGELA 3 GAL.
 - 3 SYRINGA BLOOMERANG / BLOOMERANG LILAC 5 GAL.
 - 2 CORNUS RACEMOSA - GREY DOGWOOD 7 GAL.
 - 4 CORNUS SERCEA - RED-OSIER DOGWOOD 5 GAL.
 - 4 ILEX VERTICILLATA MARYLAND BEAUTY - MARYLAND BEAUTY WINTERBERRY 5 GAL.
 - 2 HAMAMELIS VERNALIS - VERNAL WITCHHAZEL 4'-5' B4B

PERENNIALS:

- ASTILBE RHEINLAND/RHEINLAND ASTILBE
- RUBEBECKIA FULGIDA/BLACK EYED SUSAN
- EPIMEDIUM RUBRUM/RED BARRENWORT
- FESCUE EUJAH BLUE
- PHLOX EVA CULLUM/VEVA CULLUM PHLOX
- COREOPSIS FULL MOON/FULL MOON COREOPSIS
- HEUCHERA PALACE PURPLE/PURPLE PALACE CORAL BELL
- GERANIUM JOHNSON BLUE/JOHNSON BLUE GERANIUM
- ALCHEMILLA MOLLIS/LADY'S MANTLE
- HEMORCALLIS MARY TODD/MARY TODD DAYLILY
- HEMORCALLIS PINK DAMASK/PINK DAMASK DAYLILY
- ECHINACEA SUNDOWN/SUNDOWN CONEFLOWER
- HEMORCALLIS STELLA D'ORO/STELLA D'ORO DAYLILY
- ECHINACEA TWIGLIGHT/TWIGLIGHT CONEFLOWER

The Dubay Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462
Engineers
Planners
Surveyors
TheDubayGroup.com

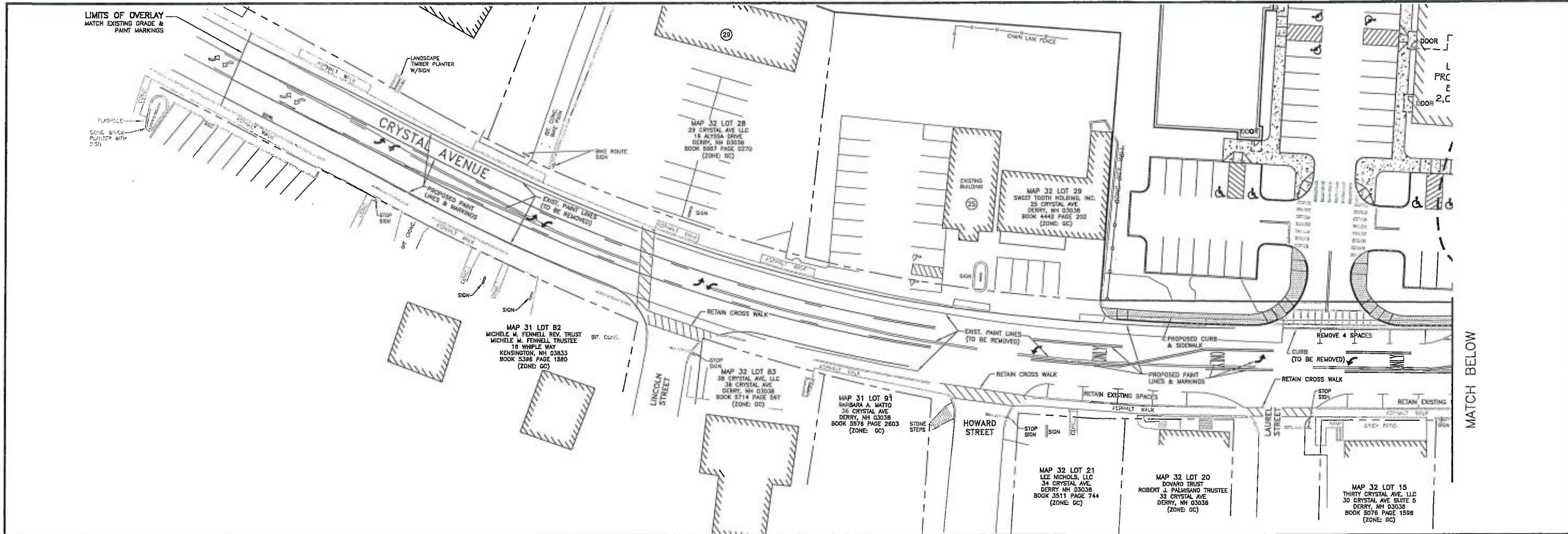
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1	7/23/18	MISC. REVS	WA

DRAWN BY: WA
CHECKED BY: DGM
DATE: JUNE 14, 2018
SCALE: 1"=30'
FILE: save 313-LANDSCAPE
DEED REF: -

PROJECT:
**SITE PLAN
REDEVELOPMENT
CRYSTAL PLAZA**
MAP 32 LOT 30
23 CRYSTAL AVE.
DERRY, NH
OWNER
23 CRYSTAL AVE, LLC
1662 ELM STREET
MANCHESTER, NH 03101

SHEET TITLE:
**LANDSCAPE
DETAILS**
PROJECT #313 SHEET 7 of 21

PROJECTS 313-23 Crystal Avenu UNH CURRENT 313-23 LANDSCAPE.dwg



The Dubai Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



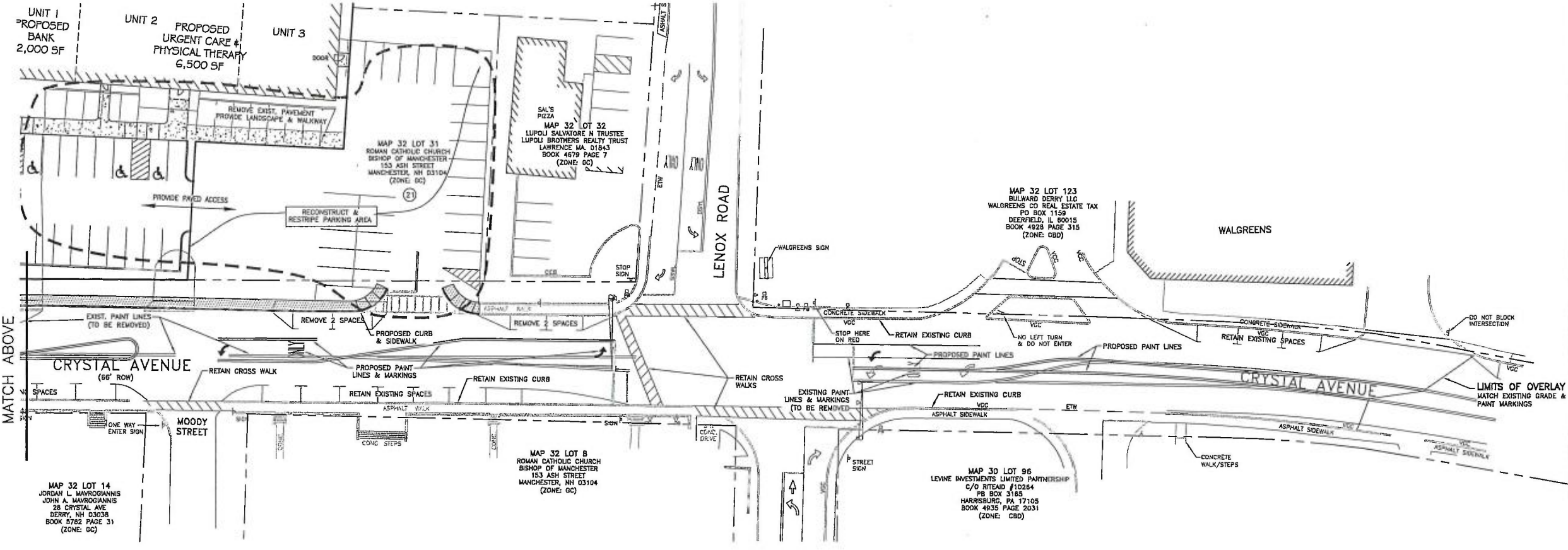
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REV.	DATE:	COMMENT:	BY:	

DRAWN BY: WA
CHECKED BY: DGM
DATE: JULY 24, 2018
SCALE: 1"=30'
FILE: 313-CRYSTAL AVE
DEED REF: -

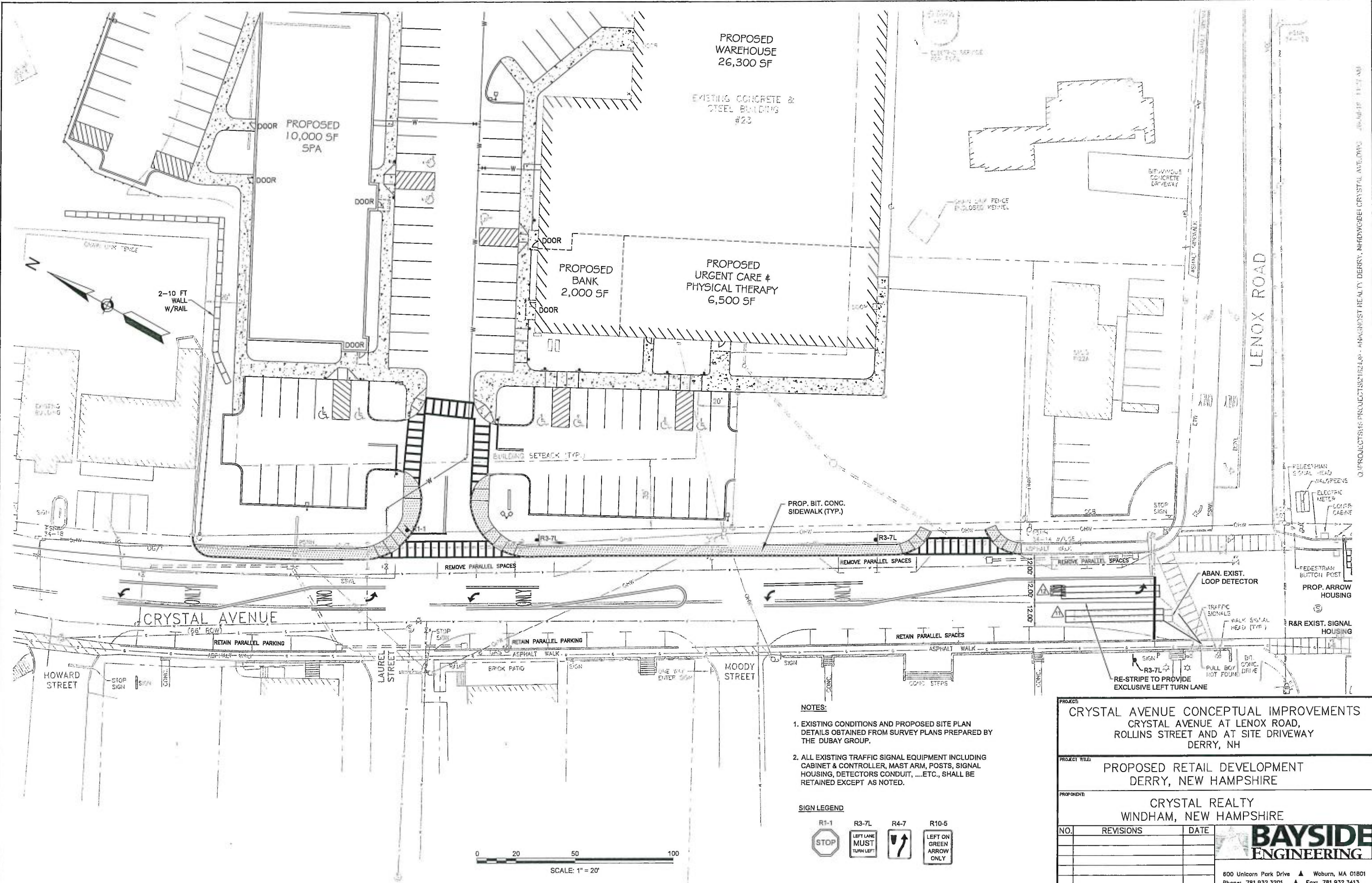
PROJECT: **SITE PLAN REDEVELOPMENT CRYSTAL PLAZA**
MAP 32 LOT 30
23 CRYSTAL AVE.
DERRY, NH

OWNER:
23 CRYSTAL AVE, LLC
1662 ELM STREET
MANCHESTER, NH 03101

SHEET TITLE:
CRYSTAL AVE PLAN



NS:\PROJECTS\313-23 Crystal Anagnost\DWG\CURRENT\313-CRYSTAL AVE.dwg



PROPOSED WAREHOUSE
26,300 SF

EXISTING CONCRETE &
STEEL BUILDING
#23

PROPOSED
10,000 SF
SPA

PROPOSED
BANK
2,000 SF

PROPOSED
URGENT CARE &
PHYSICAL THERAPY
6,500 SF

2-10 FT
WALL
W/RAIL

PROP. BIT. CONC.
SIDEWALK (TYP.)

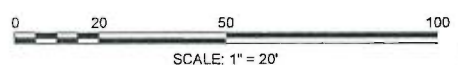
CRYSTAL AVENUE

LENOX ROAD

NOTES:

- EXISTING CONDITIONS AND PROPOSED SITE PLAN DETAILS OBTAINED FROM SURVEY PLANS PREPARED BY THE DUBAY GROUP.
- ALL EXISTING TRAFFIC SIGNAL EQUIPMENT INCLUDING CABINET & CONTROLLER, MAST ARM, POSTS, SIGNAL HOUSING, DETECTORS CONDUIT, ...ETC., SHALL BE RETAINED EXCEPT AS NOTED.

SIGN LEGEND



PROJECT:
CRYSTAL AVENUE CONCEPTUAL IMPROVEMENTS
CRYSTAL AVENUE AT LENOX ROAD,
ROLLINS STREET AND AT SITE DRIVEWAY
DERRY, NH

PROJECT TITLE:
PROPOSED RETAIL DEVELOPMENT
DERRY, NEW HAMPSHIRE

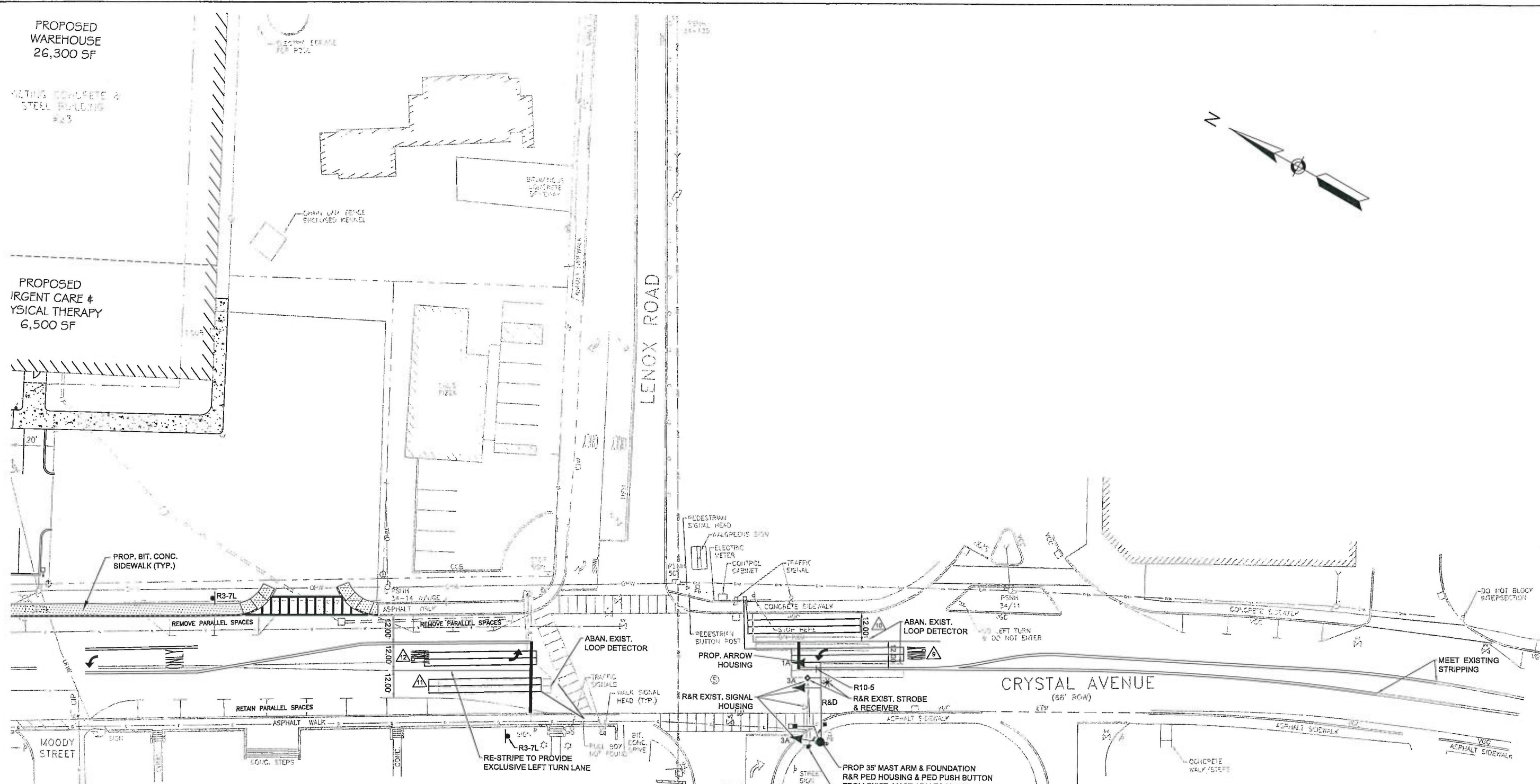
PROPOONENT:
CRYSTAL REALTY
WINDHAM, NEW HAMPSHIRE

NO.	REVISIONS	DATE

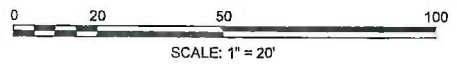
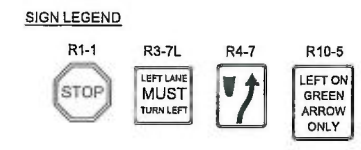
DESIGNED BY: KPC **DATE:** 7-26-2018
CHECKED BY: **DATE:** **DRAFTED BY:** KPT **DATE:** 7-26-2018

BAYSIDE ENGINEERING
 800 Unicorn Park Drive ▲ Woburn, MA 01801
 Phone: 781.932.3201 ▲ Fax: 781.932.3413
 www.baysideengineering.com

SHEET: 1 of 2



- NOTES:**
1. EXISTING CONDITIONS AND PROPOSED SITE PLAN DETAILS OBTAINED FROM SURVEY PLANS PREPARED BY THE DUBAY GROUP.
 2. ALL EXISTING TRAFFIC SIGNAL EQUIPMENT INCLUDING CABINET & CONTROLLER, MAST ARM, POSTS, SIGNAL HOUSING, DETECTORS CONDUIT, ...ETC., SHALL BE RETAINED EXCEPT AS NOTED.



PROJECT: CRYSTAL AVENUE CONCEPTUAL IMPROVEMENTS CRYSTAL AVENUE AT LENOX ROAD, ROLLINS STREET AND AT SITE DRIVEWAY DERRY, NH		
PROJECT TITLE: PROPOSED RETAIL DEVELOPMENT DERRY, NEW HAMPSHIRE		
PROPONER: CRYSTAL REALTY WINDHAM, NEW HAMPSHIRE		
NO.	REVISIONS	DATE
DESIGNED BY: KPC CHECKED BY: DRAFTED BY: KPT		DATE: 7-26-2018 DATE: DATE: 7-26-2018
800 Unicorn Park Drive Woburn, MA 01801 Phone: 781.932.3201		▲ Fax: 781.932.3413 www.baysideengineering.com
SHEET: 2	OF: 2	

PROJECTS\PROJECTS\INSLEY - AMNH\PROJECT REALTY\DERRY, NH\PROJECT REALTY\CRYSTAL AVENUE.DWG 26-JUL-18 1:52:41