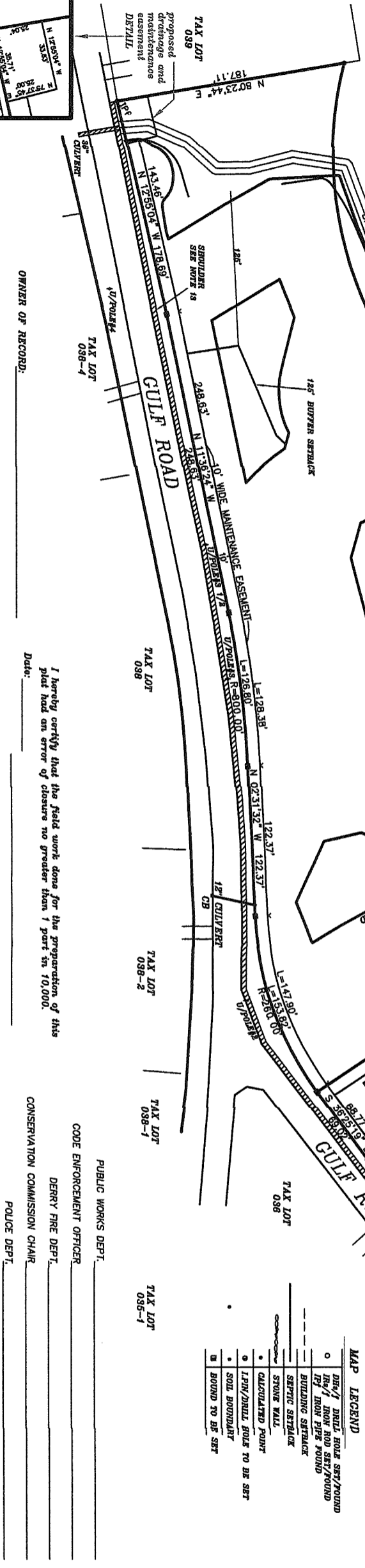
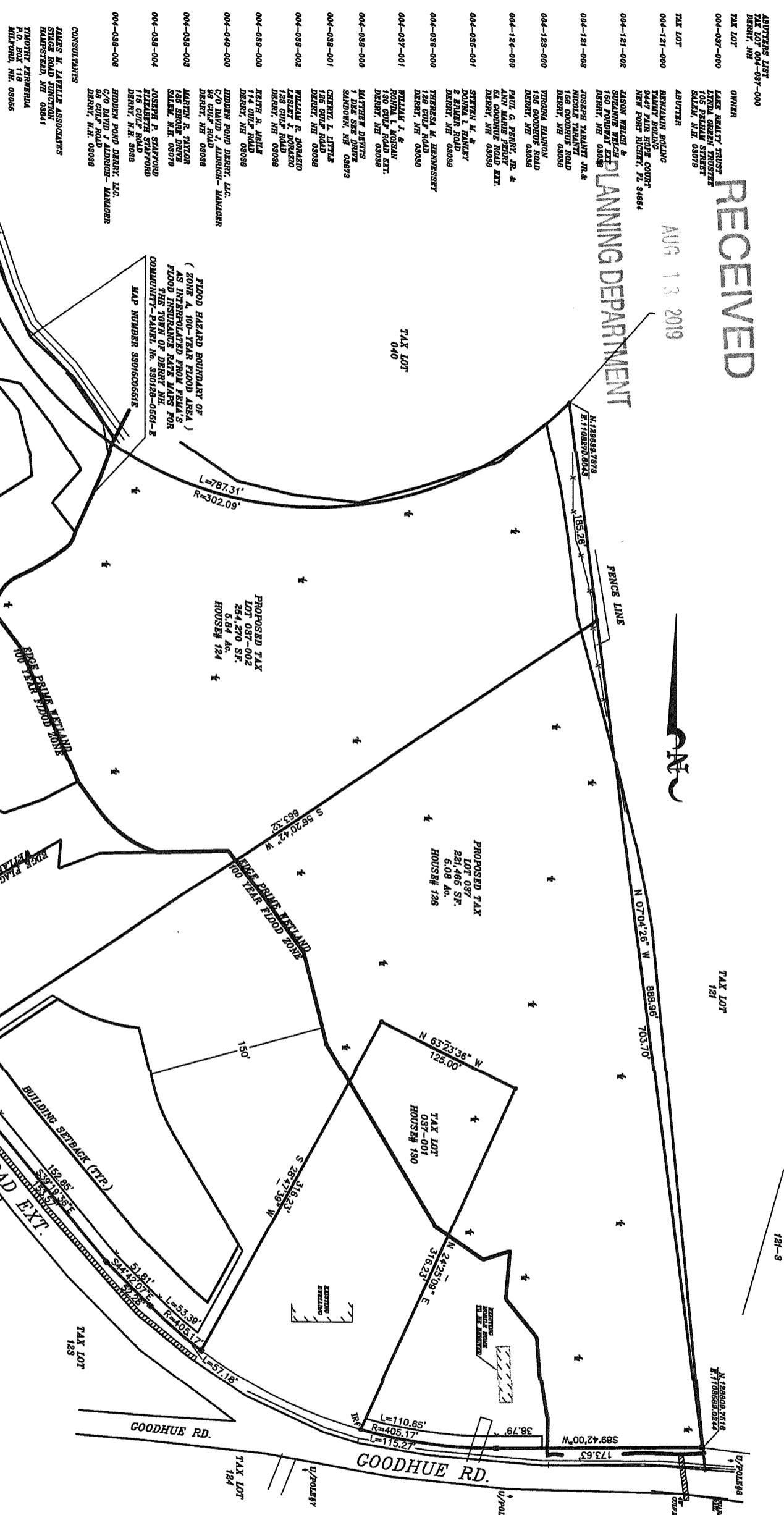


RECEIVED

AUG 13 2019

PLANNING DEPARTMENT



I hereby certify that the field work done for the preparation of this plat had an error of closure no greater than 1 part in 10,000.

Date: _____

PUBLIC WORKS DEPT.
CODE ENFORCEMENT OFFICER
DERRY FIRE DEPT.
CONSERVATION COMMISSION CHAIR
POLICE DEPT.

LAKE REALTY TRUST
OWNED BY
OF LAND IN
DERRY, N.H.

SUBDIVISION PLAN
TAX MAP 04 LOT 037

PREPARED BY
JAMES M. LAVELLE ASSOC & STARWOOD DRIVE HANPSTAD, N.H.

DATE: _____

APPROVED BY THE TOWN OF DERRY PLANNING BOARD: _____

MAP LEGEND

- DRILL HOLE SET/FOUND
- IRON ROD SET/FOUND
- BUILDING SETBACK
- SETBACK
- STONE WALL
- CALCULATED POINT
- 1/4" DRILL HOLE TO BE SET
- SOIL BOUNDARY
- BOUND TO BE SET

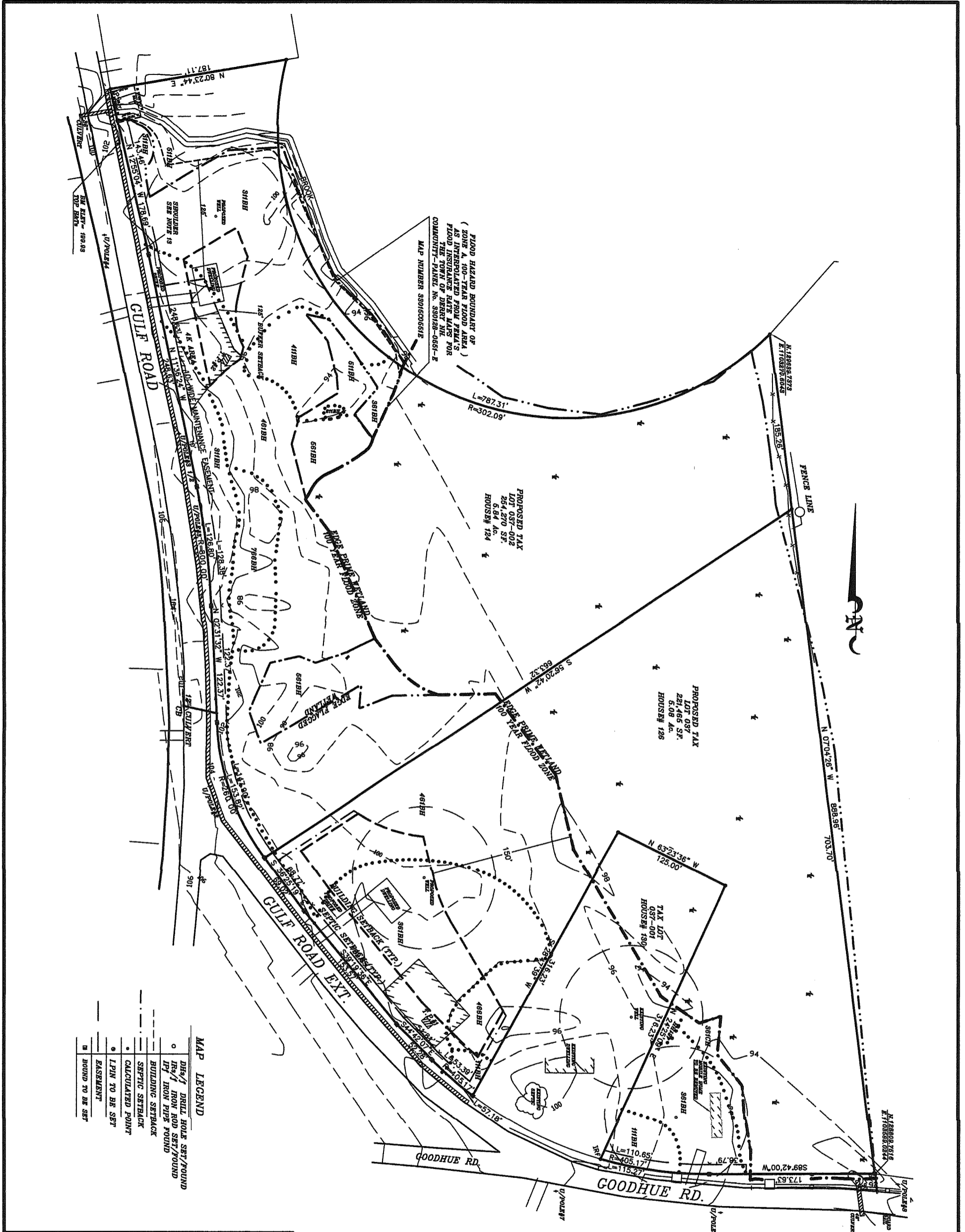
SCALE: 1" = 50'
DATE: 02/27/2019

0' 25' 50' 100' 150' 200'

PLAN NOTES

1. OWNER OF RECORD TAX LOT 04-037 LAKE REALTY TRUST 105 PELHAM ROAD SALEM, N.H. 03078.
2. REFERENCE PLAN SUBDIVISION OF LAND IN DERRY, NH OWNED BY ELISE WEBER BUILT RECORDED IN TOWN RECORDS ON RECORD DRAWER H SECTION 6 PLAN 732. SUBDIVISION FOR PRESERVE H. WEBER RECORDED IN FORD PLAN D-1989, STATE OF N.H. HIGHWAY PLAN PROJECT No. S-28(12) SHEET 22.
3. REFERENCE DEED H-6978 Pg. 1007.
4. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX LOT 037-001 INTO TWO LOTS, BOTH LOTS TO BE 100' WIDE BUILDING LOTS.
5. THIS PROPERTY LIES IN THE LDR ZONE; MIN. LOT SIZE IS 3 ACRES; MIN. FRONTAGE IS 200'. PRIME WETLAND SETBACK IS 150'.
6. HORIZONTAL AND VERTICAL FEATURES ARE TIED INTO THE TOWN OF DERRY GEODETIC CONTROL NETWORK WHICH REFLECT THE USGS DATUM BASE.
7. LOTS TO BE SETBACK TO BE SPRINKLERED PER NAPA 130 PROPOSED LOTS TO BE SPRINKLERED.
8. A FULL SET OF PLANS IS ON FILE AT THE TOWN OF DERRY PLANNING BOARD OFFICE.
9. THIS PLAN DOES NOT REQUIRE N.H.D.E.S. SUBDIVISION APPROVAL, BOTH LOTS ARE GREATER THAN 6 AC.
10. SOILS, WETLAND AND PRIME WETLAND DELINEATION BY 11. SOILS, WETLAND AND PRIME WETLAND DELINEATION BY 12. THIS PLAN SET CONSIST OF TWO SHEETS, SHEET ONE IS THE FINAL SHEET FOR RECORDING AT R.C.H.D. IS NOT FOR RECORDING.
13. 4' WIDE SHOULDER, 1.5' DEPTH OF 304.3 1/2" CHURCH DRIVE, N.H.D.O.T. ALONG BRIDGE PROXIMITY 14. NO UNDERGROUND ELECTRICAL REQUIRED
15. ALL TREES/BUSH WITHIN R.O.W. MUST BE CUT & REMOVED

NO.	DATE	REVISIONS DESCRIPTION
1	3/28/2019	PER PLANNING DEPARTMENT MEMORANDUM
2	5/28/2019	CONSERVATION COMMENTS



FLOOD HAZARD BOUNDARY OF
 (ZONE A, 100-YEAR FLOOD AREA)
 AS DETERMINED FROM FEMA'S
 FLOOD INSURANCE RATE MAP FOR
 THE TOWN OF DERRY AND FOR
 COMMUNITY-PANEL NO. 830128-0651-E
 MAP NUMBER 8301600561-E

PROPOSED TAX
 LOT 037-002
 264,270 SF.
 6.84 AC.
 HOUSE# 124

PROPOSED TAX
 LOT 037
 221,466 SF.
 5.08 AC.
 HOUSE# 126

TAX LOT
 037-001
 HOUSE# 130

MAP LEGEND

○	DHS/J DRILL HOLE SET/ROUND
○	INS/J IRON ROD SET/ROUND
○	IP/J IRON PIPE ROUND
—	BUILDING SETBACK
—	SEPTIC SETBACK
○	CALCULATED POINT
○	LPIN TO BE SET
—	EASEMENT
—	BOUND TO BE SET

TAX MAP 04
 SUBDIVISION PLAN
 OF LAND IN
 DERRY, N.H.
 OWNED BY
 LAKE REALTY TRUST

LOT 037

SCALE: 1"=50'
 DATE: 02/27/2019

0' 25' 50' 100' 150' 200'

PREPARED BY
 JAMES M. LAVELLE ASSOC.
 2 STARWOOD DRIVE
 HAMPSTEAD, N.H.

STATE OF NEW HAMPSHIRE
 JAMES M. LAVELLE
 LICENSED SURVEYOR