

RECEIVED

SEP 2 2019
PLANNING DEPARTMENT

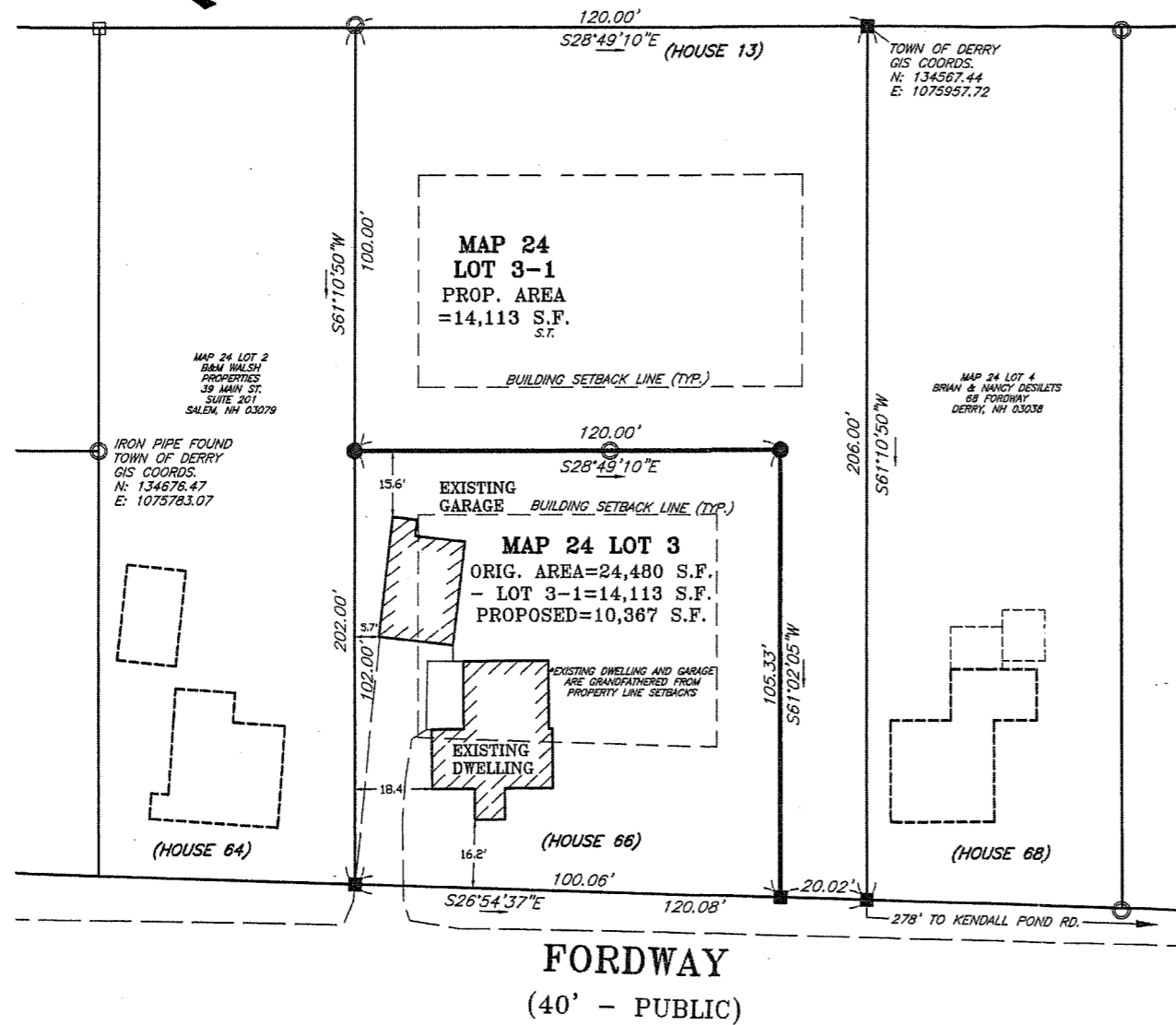
MAP 24 LOT 33
ROBERT & MARTHA LANDERS
20 PINEHURST AVE.
DERRY, NH 03038

MAP 24 LOT 34
PETER & CATHY SIMPSON
22 PINEHURST AVE.
DERRY, NH 03038

MAP 24 LOT 35
DOMENIC PISO
21 KENDALL POND RD.
DERRY, NH 03038

MAP 24 LOT 36
ERICA M. HARVEY
24 PINEHURST AVE.
DERRY, NH 03038

PINEHURST AVENUE (40' - PUBLIC)



MAP 24 LOT 2
DAN WILSH
PROPERTIES
39 MAIN ST.
SUITE 201
SALEM, NH 03079

IRON PIPE FOUND
TOWN OF DERRY
GIS COORDS.
N: 134676.47
E: 1075783.07

MAP 24 LOT 4
BRIAN & NANCY DESILETS
68 FORDWAY
DERRY, NH 03038

MAP 2 BLOCK 20 LOT 3
AMY BUNKER
97 FORDWAY
DERRY, NH 03038

MAP 24 LOT 7
RICHARD F. LOW, TRUSTEE
69 FORDWAY
DERRY, NH 03038

LEGEND

- EXISTING LOT LINE
- - - - - LOT LINE TO BE REMOVED
- PROPOSED LOT LINE
- - - - - BUILDING SETBACK LINE
- - - - - WETLAND
- STONEWALL
- GRANITE BOUND
- IRON PIPE/ROD
- ⊙ DRILL HOLE
- IRON ROD TO BE SET
- STONE BOUND TO BE SET



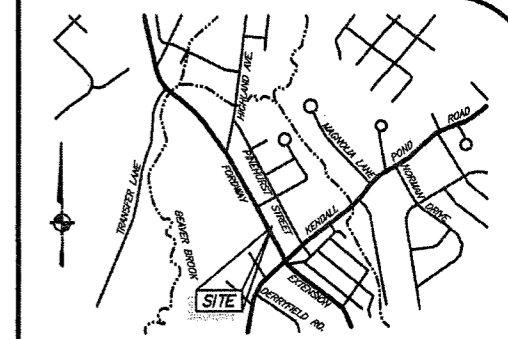
PLAN REFERENCES:

- "PINEHURST, WEST DERRY, NH; PROPERTY OF A.D. GILLEY" PREPARED BY SMITH & WALKER CIVIL ENGINEERS. DATED AUG. 1903 AND RECORDED IN THE R.C.R.D. AS PLAN 00274.
- "CONDOMINIUM SITE PLAN 'BUNKER ESTATES CONDOMINIUM'" PREPARED BY ERIC C. MITCHELL & ASSOC. DATED JUNE 13, 2008 AND RECORDED IN THE R.C.R.D. AS PLAN D-33898

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OCT 1 2019

PLANNING DEPARTMENT



NOTES

- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT 24-3 INTO TWO SINGLE FAMILY LOTS.
- CURRENT ZONING: MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT (MHDR)
MINIMUM LOT SIZE: 10,000 S.F. (MUNICIPAL WATER AND SEWER)
MINIMUM LOT FRONTAGE: 100 FEET
MINIMUM LOT WIDTH: 100 FEET AT THE 35' SETBACK LINE
MINIMUM FRONT YARD SETBACK: 35 FEET
MINIMUM SIDE YARD SETBACK: 15 FEET
MINIMUM REAR YARD SETBACK: 15 FEET
- EXISTING TAX MAP 24 LOT 3 = 24,485 S.F.±
PROPOSED TAX MAP 24 LOT 3-1 = 12,113 S.F.
PROPOSED TAX MAP 24 LOT 3 = 10,367 S.F.
- THE LOCATION OF ANY UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO CONTACT DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- NO PORTION OF THESE PARCELS IS LOCATED WITHIN A 100 YEAR FLOOD AREA PER THE FLOOD INSURANCE RATE MAP FOR DERRY, NH. COMMUNITY PANEL No. J3015C0527E, EFFECTIVE DATE: MAY 17, 2005.
- THIS PLAN SET CONTAINS 3 SHEETS, SHEET 1 IS TO BE RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS, AND THE FULL SET OF APPROVED PLANS WILL BE ON FILE AT THE DERRY PLANNING DEPARTMENT.
- TAX MAP 24 LOT 3 IS CURRENTLY SERVICED BY MUNICIPAL WATER AND SEWER. LOT 24-3-1 WILL ALSO BE SERVICED BY MUNICIPAL WATER AND PRIVATE SEPTIC.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF DERRY ORDINANCES, REGULATIONS AND DEPARTMENT POLICIES, PROCEDURES AND SPECIFICATIONS.
- ALL SLOPES SHALL BE STABILIZED AND SEEDED DURING CONSTRUCTION PHASE TO PREVENT EROSION. QUALITY CONTROL MEASURES SUCH AS SILT SACKS SHALL BE USED TO PREVENT POLLUTED RUNOFF TO FLOW INTO THE CLOSED DRAINAGE SYSTEM.
- SEE VARIANCE GRANTED BY THE DERRY ZONING BOARD OF ADJUSTMENT ON AUG. 15, 2019 (CASE #19-125) TO THE TERMS OF ARTICLE VI, SECTION 165-45.B.1.a.1 TO SUBDIVIDE THE PROPERTY INTO TWO LOTS WITH ONE HAVING A LOT SIZE OF 14,113 SQ. FT. WHERE 15,000 SQ. FT. IS REQUIRED IN THE MHDR DISTRICT WITH THE FOLLOWING CONDITIONS:
 - SUBJECT TO OBTAINING ALL STATE & TOWN PERMITS AND INSPECTIONS
 - SUBJECT TO PLANNING BOARD APPROVAL

APPROVED BY THE DERRY, NH PLANNING BOARD

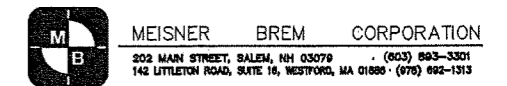
CHAIRMAN OF THE BOARD	DATE
SECRETARY	

APPROVED BY THE DERRY, NH DEPARTMENT HEADS

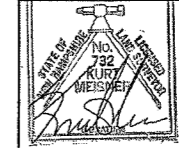
<i>[Signature]</i>	DEPARTMENT
<i>[Signature]</i>	Code Enforcement
<i>[Signature]</i>	DEPARTMENT
<i>[Signature]</i>	Fire
<i>[Signature]</i>	DEPARTMENT
<i>[Signature]</i>	Police
<i>[Signature]</i>	DEPARTMENT
<i>[Signature]</i>	DEPARTMENT

NO.	DATE	REVISION	BY
3	9/20/19	PER TRC REVIEW	RJB
2	7/24/19	PER ENGINEERING REVIEW	NDM
1	6/11/19	PER PLANNING REVIEW	NDM

DEFINITIVE SUBDIVISION PLAN OF LAND
TAX MAP 24, LOT 3
66 FORDWAY, DERRY, NH
PREPARED FOR:
JOHN LANZAFAME
30 TEMPLE ST. METHUEN, MA 01844
PREPARED BY:



SCALE: 1"=20' SHEET: 1 OF 3 DATE: MAY 6, 2019



OWNER OF RECORD:
JOHN LANZAFAME
30 TEMPLE ST.
METHUEN, MA 01844
DEED: BK 5989, PG. 2299
JOB NO.: 8166

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON WAS OBTAINED FROM AN ON THE GROUND FIELD SURVEY AND THAT THE RELATIVE ERROR OF CLOSURE IS NO GREATER THAN 1 PART IN 10,000.

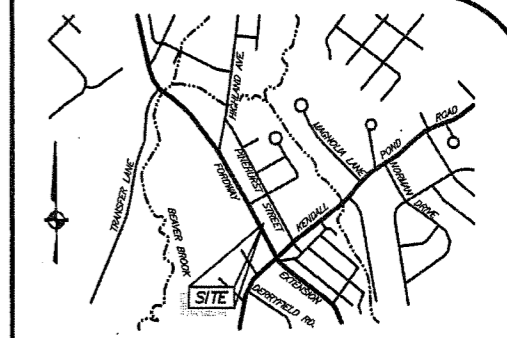
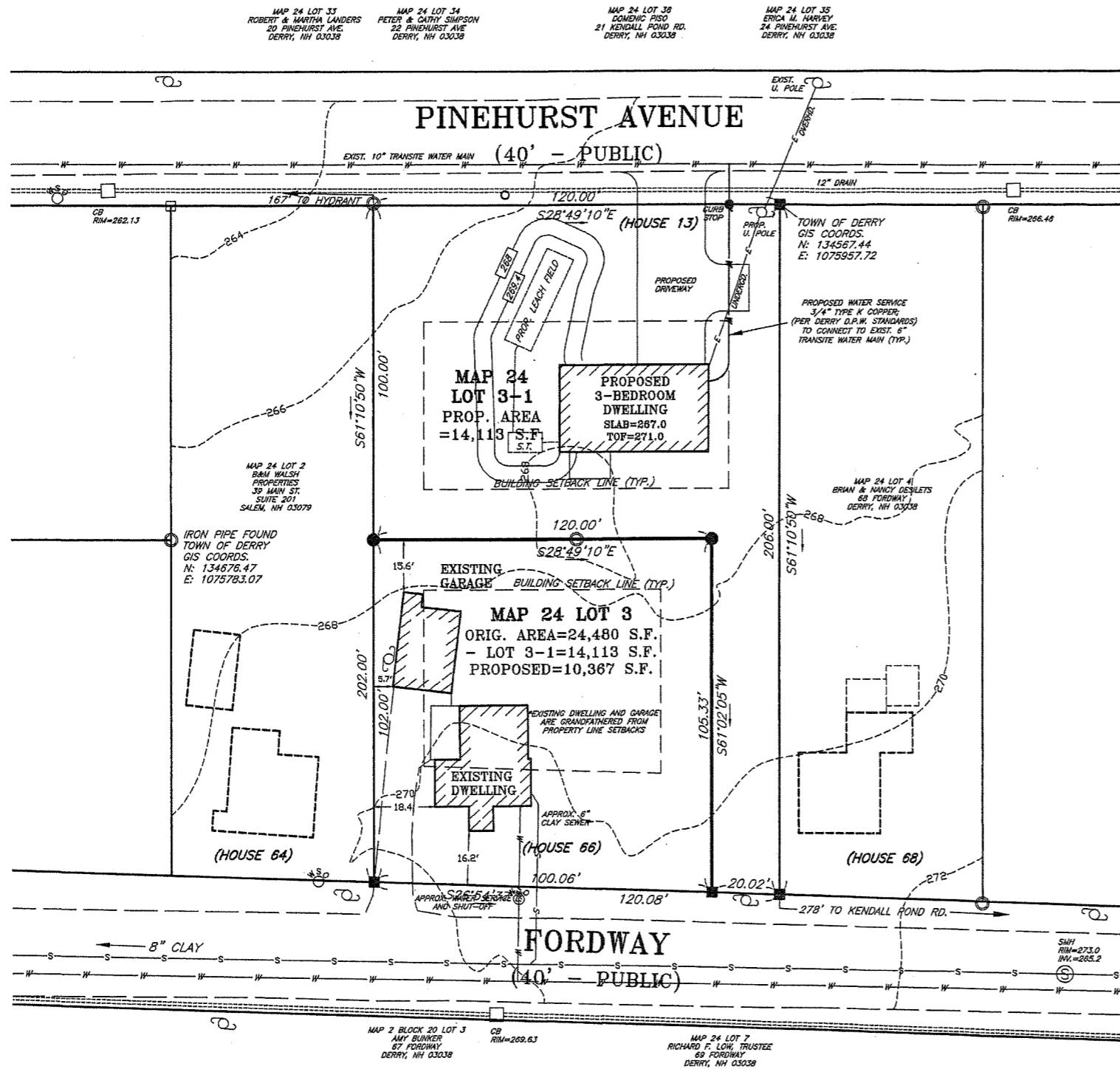
[Signature] 9-23-19
KURT MEISNER LLS 732 DATE

OWNER'S SIGNATURE BLOCK
[Signature] 9-23-19
JOHN LANZAFAME DATE

RECEIVED

SEP 13 2019

PLANNING DEPARTMENT



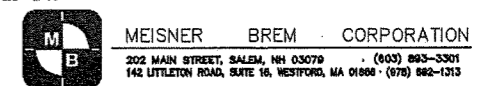
VICINITY PLAN
NOT TO SCALE

NOTES

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE A NEW TWO-FAMILY LOT FROM LOT 24-3.
2. CURRENT ZONING: MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT (MHDR)
MINIMUM LOT SIZE: 10,000 S.F. (MUNICIPAL WATER AND SEWER)
MINIMUM LOT FRONTAGE: 100 FEET
MINIMUM LOT WIDTH: 100 FEET AT THE 35' SETBACK LINE
MINIMUM FRONT YARD SETBACK: 35 FEET
MINIMUM SIDE YARD SETBACK: 15 FEET
MINIMUM REAR YARD SETBACK: 15 FEET
3. EXISTING TAX MAP 24 LOT 3 = 24,485 S.F.±
PROPOSED TAX MAP 24 LOT 3-1 = 12,000 S.F.
PROPOSED TAX MAP 24 LOT 3 = 12,485 S.F.
4. THE LOCATION OF ANY UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO CONTACT DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
5. NO PORTION OF THESE PARCELS IS LOCATED WITHIN A 100 YEAR FLOOD AREA PER THE FLOOD INSURANCE RATE MAP FOR DERRY, NH. COMMUNITY PANEL No. 33015005276, EFFECTIVE DATE: MAY 17, 2005.
6. THIS PLAN SET CONTAINS 3 SHEETS, SHEET 1 IS TO BE RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS, AND THE FULL SET OF APPROVED PLANS WILL BE ON FILE AT THE DERRY PLANNING DEPARTMENT.
7. TAX MAP 24 LOT 3 IS CURRENTLY SERVICED BY MUNICIPAL WATER AND SEWER. LOT 24-3-1 WILL ALSO BE SERVICED BY MUNICIPAL WATER AND SEWER.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF DERRY ORDINANCES, REGULATIONS AND DEPARTMENT POLICIES, PROCEDURES AND SPECIFICATIONS.
9. ALL SLOPES SHALL BE STABILIZED AND SEEDED DURING CONSTRUCTION PHASE TO PREVENT EROSION. QUALITY CONTROL MEASURES SUCH AS SILT SACKS SHALL BE USED TO PREVENT POLLUTED RUNOFF TO FLOW INTO THE CLOSED DRAINAGE SYSTEM.
10. THE PROPOSED DRIVEWAY ON LOT 3-1 WILL HAVE 200 FT. ALL SEASON SAFE SIGHT DISTANCE.
11. DRIVEWAY ACCESS AND CONSTRUCTION ACCESS WILL BE OFF OF PINEHURST AVENUE ONLY.

NO.	DATE	REVISION	BY
3	9/20/19	PER TRC REVIEW	RJB
2	6/21/19	GENERAL	NDM
1	6/11/19	PER PLANNING REVIEW	NDM

TOPOGRAPHIC & UTILITIES PLAN
TAX MAP 24, LOT 3
 66 FORDWAY, DERRY, NH
 PREPARED FOR:
JOHN LANZAFAME
 30 TEMPLE ST. METHUEN, MA 01844
 PREPARED BY:



SCALE: 1"=20' SHEET: 2 OF 3 DATE: MAY 8, 2019

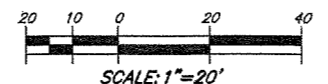
	OWNER OF RECORD: JOHN LANZAFAME 30 TEMPLE ST. METHUEN, MA 01844	DERRY PLANNING BOARD APPROVAL:
	DEED: BK 5989, PG. 2299	
JOB NO.: 8166		

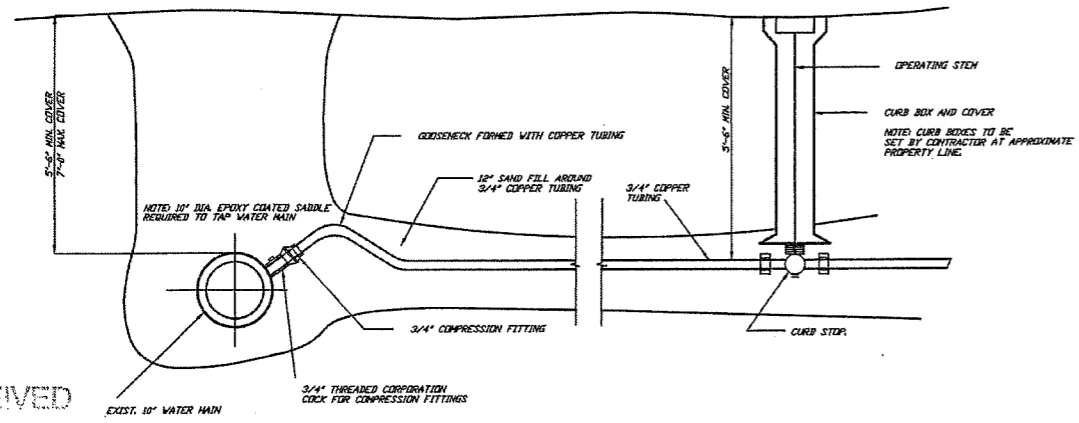
APPROVED BY THE DERRY, NH PLANNING BOARD

CHAIRMAN OF THE BOARD	DATE
SECRETARY	

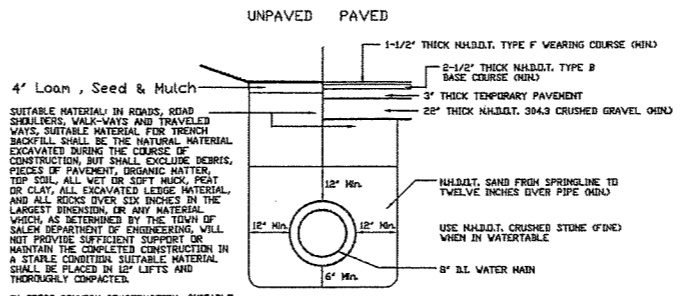
OWNER'S SIGNATURE BLOCK

John Lanzafame 9-23-19
 JOHN LANZAFAME IV DATE

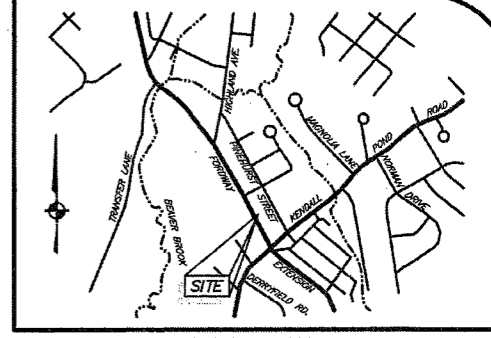




TYPICAL WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



TYPICAL WATER TRENCH DETAIL
NOT TO SCALE



VICINITY PLAN
NOT TO SCHOOL

NOTES

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5. NO PORTION OF THESE PARCELS IS LOCATED WITHIN A 100 YEAR FLOOD AREA PER THE FLOOD INSURANCE RATE MAP FOR DERRY, NH, COMMUNITY PANEL No. 3301500527C, EFFECTIVE DATE: MAY 17, 2005.
6. THIS PLAN SET CONTAINS 3 SHEETS, SHEET 1 IS TO BE RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS, AND THE FULL SET OF APPROVED PLANS WILL BE ON FILE AT THE DERRY PLANNING DEPARTMENT.
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9. ALL SLOPES SHALL BE STABILIZED AND SEEDED DURING CONSTRUCTION PHASE TO PREVENT EROSION. QUALITY CONTROL MEASURES SUCH AS SILT SACKS SHALL BE USED TO PREVENT POLLUTED RUNOFF TO FLOW INTO THE CLOSED DRAINAGE SYSTEM.

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PLANNING DEPARTMENT

Tranch Patching

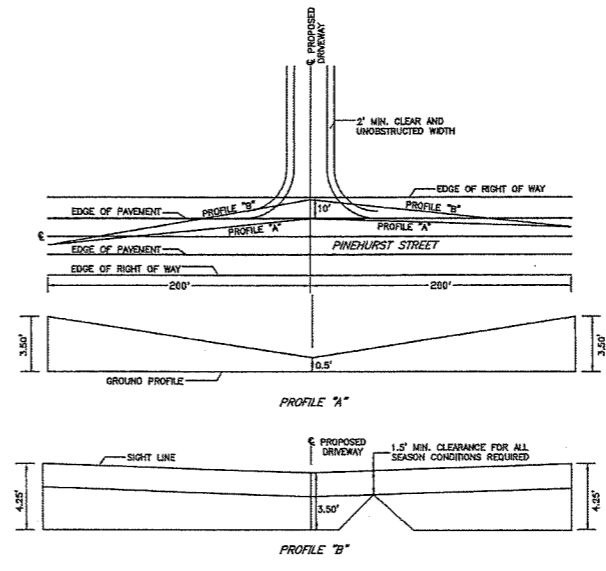
1. Before any excavation may begin where a paved surface exists the contractor shall cut the pavement, using an approved method. No ripping of the pavement will be allowed.
2. The trench will be backfilled to within fourteen inches of final grade.
 - a) Backfill shall be thoroughly compacted by hand or mechanical means in layers not to exceed six (6) inches. Each backfill layer shall be at least 65% of its optimum density.
 - b) No stone or rock fragments larger than 10 pounds shall be deposited in the backfill.
 - c) Frozen material shall not be used for backfilling under any circumstance. Road surfaces shall be broom cleaned immediately after backfilling and appropriate measures taken for dust control.
3. The pavement foundation will then be placed to within two (2) inches of the final grade. The foundation shall consist of approved crushed gravel spread uniformly and compacted as directed in item 2a above.
4. A temporary patch consisting of 3/4 inch base course asphalt will then be placed to a depth of two (2) inches. This temporary patch will be maintained as necessary by the contractor and allowed to remain in place for a minimum of 90 days but not more than 120 days. Use of cold patch material is specifically prohibited for temporary patch.
5. At the end of the stabilization period the temporary patch will be cut out and the trench trimmed with neat straight cuts and square corners a minimum distance of twelve (12) inches beyond the limits of the temporary patch area or observed settlement, whichever is greater.
6. The contractor will add crushed gravel. If necessary, use a tack coat, and place a minimum of four (4) inches of Bituminous Concrete applied in two (2) courses. The first course being 2.5 inches of 3/4 inch base course asphalt and the second course being 1.5 inches of 3/4 inch wearing course asphalt. Rolling shall be done with a self propelled roller weighing not less than 2.5 tons and shall continue until a firm even surface true to the lines and grade is obtained.
7. A curb to curb 1 1/2 inch thick milled and inlay overlay fifty (50) feet in each direction from the centerline of the trench, a total of one hundred feet, will be required. Tack coat will be applied with a tack truck equipped with a spreader bar.
8. 18" of 1 1/2" Crush Gravel 304.3 shall be required.

DEPARTMENT OF PUBLIC WORKS
Thomas A. Carrier, Water/Wastewater
Superintendent

WATER SERVICE INSTALLATION GUIDE

Note: This guide is intended for use by the contractor as a check list for proper installation. Further explanations and details are provided within 1993 Derry Water Main Specifications with 1998 revisions.

- Minimum 3/4" type K Copper tubing. (min. 1" if service greater than 100')
- Use 100 ft. Rolls to minimize fittings.
- All compression fittings (all valves without drains).
- Direct tap to Cast and Ductile Iron. (saddles for all transite and plastic mains)
- Minimum 6 feet of cover (insulation required at depths between 5 ft and 4 ft. No Service shall be laid with less than 4' of cover.)
- 6 inches of sand below and above service pipe.
- Service box adjusted flush with finish grade.
- Minimum 10 ft. horizontal separation with sewer.
- Trenches open until inspection by Town's Engineer.
- As-builts must be submitted within 24 hours following installation.



DRIVEWAY SITE DISTANCE
PLAN AND PROFILE
NOT TO SCALE

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SITE DISTANCE AS REQUIRED BY THE TOWN OF DERRY IS ACHIEVED UPON THE COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.



PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR

NO.	DATE	REVISION	BY
2	9/20/19	PER TRC REVIEW	RJB
1	6/11/19	PER PLANNING REVIEW	NDM

DEFINITIVE SUBDIVISION PLAN OF LAND
TAX MAP 24, LOT 3
66 FORDWAY, DERRY, NH
PREPARED FOR:
JOHN LANZAFAME
30 TEMPLE ST. METHUEN, MA 01844
PREPARED BY:
MEISNER BREM CORPORATION
202 MAIN STREET, SALEM, NH 03079 (603) 893-3301
142 LITTLETON ROAD, SUITE 16, WESTFORD, MA 01086 (978) 692-1313

SCALE: 1"=20' SHEET: 3 OF 3 DATE: MAY 6, 2019

	OWNER OF RECORD: JOHN LANZAFAME 30 TEMPLE ST. METHUEN, MA 01844 DEED: BK 5989, PG. 2299	DERRY PLANNING BOARD APPROVAL:
	JOB NO.: 8186	