Planning Department, June 21, 2023

APPLICANT: Hood Commons BSD, LLC

DEVELOPER: Same as above.

PROJECT: Chipotle Restaurant

LOCATION: Parcel ID 36017, 55 Crystal Ave.

PURPOSE: The purpose of this site plan is for a 2,466 square foot Chipotle Restaurant

with a pick-up window/lane located at the entrance of Hood Plaza in the

General Commercial District.

TOWN DEPARTMENT SIGNATURES: All town departments have reviewed and signed

the plan.

WAIVERS: See letter dated May 23, 2023, from VHB Engineering.

LDCR-Section 170-29.K-minimum pipe size-storm drainage

LDCR-Section 170-63.4.i.-parking density

LDCR-Section 170-67.B.1-solid waste storage

STATE PERMITS: NA.

RECOMMENDATION: Staff would recommend approval of both the waiver requests and

site plan application.

BY:

George H. Sioras, Planning Director

Site Plans

Issued for Date Issued **TRC Review**

February 23, 2023

May 19, 2023 Latest Issue

Proposed Chipotle

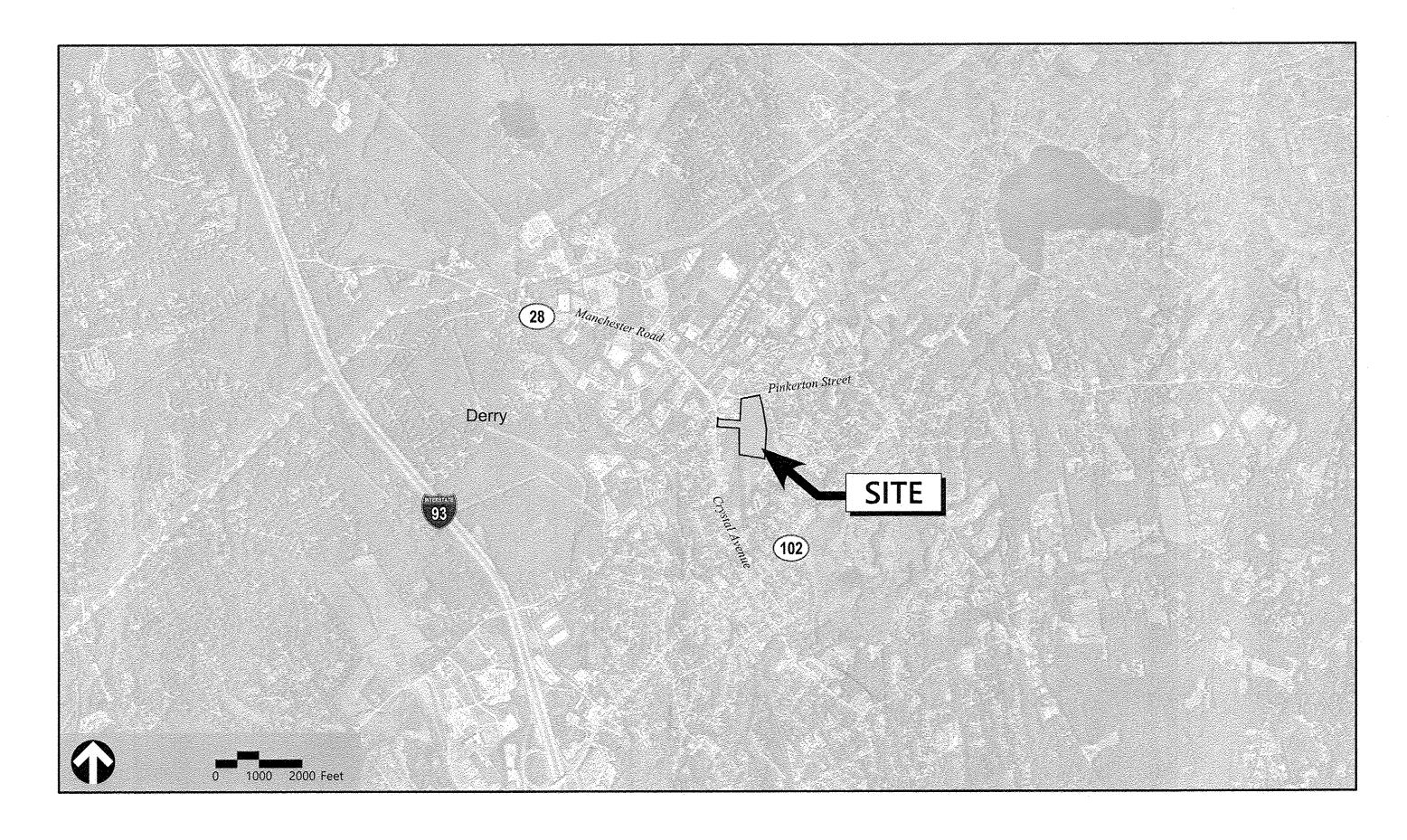
55 Crystal Avenue Derry, New Hampshire

Owner/Applicant

Hood Commons BSD LLC c/o Madison Properties 3611 14th Avenue Suite 420 Brooklyn, NY 11218

Assessor's Map: 36

Lot: 017



Sheet Index			Refer	ence Drawings
No.	Drawing Title	Latest Issue	No.	Drawing Title
C1.01	Legend and General Notes	May 19, 2023	Sv-1	Existing Conditions Plan of Land
C2.01	Overall Site Plan	May 19, 2023	SL-1A	Site Lighting Photometric Calculations
C3.01	Layout and Materials Plan	May 19, 2023	SP101.0	Architectural Site Details
C4.01	Grading and Drainage Plan	May 19, 2023	SP102.0	Dumpster Plan & Details
C5.01	Utility Plan	May 19, 2023	A130.0	Floor Plan
C6.01	Erosion and Sediment Control Plan	May 19, 2023	A302	Exterior Elevations
C7.01-7.04	Site Details	May 19, 2023		
C8.01	Snow Storage Plan	May 19, 2023		
L1.00	Planting Plan	May 19, 2023		

Landscaping Details

May 19, 2023

MAY 1 9 2023 Derry Planning Department



2 Bedford Farms Drive Suite 200 Bedford, NH 03110 603.391.3900

Architect

Lingle Design Group Inc., 158 W Main St #9247 Lena, IL 61048 Phone Number

TOWN OF DERRY SIGNATI	
hee the	DATE: 5/22/23
PUBLIC WORKS DIRECTOR:	DA16.
JUNION STORES OFFICER	DATE: 5/23/23
FIRE DEPARTMENT	DATE: 5/23/33
CONSERVATION COMMISSION CHAIR	DATE: 5/25/23
1//m///	DATE: 5/22/23

April 7, 2023

March 10, 2023

February 23, 2023

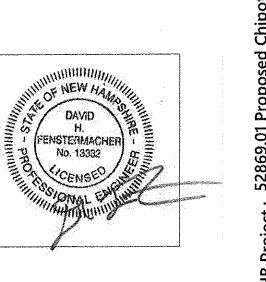
February 23, 2023

February 23, 2023

April 7, 2023

APPROVED BY THE DERRY, NH	
PLANNING BOARD ON:	
CERTIFIED BY:	
CHAIRMAN:	
SECRETARY:	197 2.8

THIS PLAN SET CONTAINS A TOTAL OF 19 SHEETS. THE FULL SET OF PROJECT PLANS IS ON FILE AT THE DERRY PLANNING DEPT.



Exist.	Prop.		Exist.	Prop.	
		DDODEDTY LINE	And the second		CONCRETE
		PROPERTY LINE		(<u>0.1 m (48.4.4.4)</u>	HEAVY DUTY PAVEMENT
		PROJECT LIMIT LINE			BUILDINGS
		RIGHT-OF-WAY/PROPERTY LINE			RIPRAP
		EASEMENT SETRACK		200251 777777	CONSTRUCTION EXIT
		BUILDING SETBACK		%%%% 	CONSTRUCTION EXIT
10+00	10+00	PARKING SETBACK BASELINE	27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
			26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT	132.75 ×	132.75 ×	SPOT ELEVATION
		ZONING LINE	45.0 TW 38.5 BW	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
		TOWN LINE	- 🔷	+	BORING LOCATION
		LIMIT OF DISTURBANCE	123		TEST PIT LOCATION
<u>&</u> _ ·		WETLAND LINE WITH FLAG	○ MW	→ MW	MONITORING WELL
		FLOODPLAIN			
DI CE		BORDERING LAND SUBJECT	——UD—— 12"D	——UD —— 12″D—►	UNDERDRAIN
BLSF		TO FLOODING		6″RD─►	DRAIN
BZ		WETLAND BUFFER ZONE	6"RD	12"S	ROOF DRAIN
NDZ—		NO DISTURB ZONE	12"S		SEWER
200'RA—		200' RIVERFRONT AREA			FORCE MAIN
		CDAVEL BOAD	—— OHW ——	——— OHW ———	OVERHEAD WIRE
— — — — EOP	 EOP	GRAVEL ROAD	6"W	6"W	WATER
BB	BB	EDGE OF PAVEMENT	4"FP	4"FP	FIRE PROTECTION
		BITUMINOUS BERM		2"DW	DOMESTIC WATER
BC CC	BC	BITUMINOUS CURB	3"G	——-G——	GAS
CC	CC CG	CONCRETE CURB	——Е——	——E——	ELECTRIC
		CURB AND GUTTER	——————————————————————————————————————	———STM——	STEAM
CC	<u>ECC</u>	EXTRUDED CONCRETE CURB	——Т——	T	TELEPHONE
CC	MCC	MONOLITHIC CONCRETE CURB	———FA———	——FA——	FIRE ALARM
CC	PCC PCC	PRECAST CONC. CURB	—— CATV——	—— CATV——	CABLE TV
<u>SGE</u>	SGE	SLOPED GRAN. EDGING			CATCH BASIN CONCENTRIC
VGC	VGC	VERT. GRAN. CURB			CATCH BASIN ECCENTRIC
		LIMIT OF CURB TYPE			DOUBLE CATCH BASIN CONCENTRIC
		SAWCUT			DOUBLE CATCH BASIN ECCENTRIC
V///////			BBB	<u> </u>	GUTTER INLET
	_	BUILDING	(D)	lacktriangle	DRAIN MANHOLE CONCENTRIC
	■EN	BUILDING ENTRANCE	(D)	•	DRAIN MANHOLE ECCENTRIC
		LOADING DOCK	=TD=		TRENCH DRAIN
•	•	BOLLARD	Ľ	Ľ	PLUG OR CAP
D	D	DUMPSTER PAD	co	co	CLEANOUT
0		SIGN	>	•	FLARED END SECTION
<u> </u>	3 E	DOUBLE SIGN			HEADWALL
T T	т т	STEEL GUARDRAIL			
		WOOD GUARDRAIL	(\$)	•	SEWER MANHOLE CONCENTRIC
		WOOD GOARDRAIL	<u> </u>		SEWER MANHOLE ECCENTRIC
		PATH	CS ●	CS ●	CURB STOP & BOX
		TREE LINE	₩V	₩V •	WATER VALVE & BOX
~ 1 ,		WIRE FENCE	TSV	TSV	TAPPING SLEEVE, VALVE & BOX
		FENCE	**	*	FIRE DEPARTMENT CONNECTION
	- -	STOCKADE FENCE	HYD	HYD ⊙	FIRE HYDRANT
000000		STONE WALL	WM	WM ⊡	WATER METER
		RETAINING WALL	PIV	PIV	POST INDICATOR VALVE
		STREAM / POND / WATER COURSE	W	(WATER WELL
		DETENTION BASIN	GG		
	•••••••	HAY BALES	GM	GG O GM	GAS METER
X	×	SILT FENCE	•	GM ⊡	GAS METER
· (::::::> ·	· <:::::> ·	SILT FENCE SILT SOCK / STRAW WATTLE	E	● ^{EMH}	ELECTRIC MANHOLE
· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	SIET SOCIC / STIMIN WATTLE	EM •	EM ⊡	ELECTRIC METER
4	 4 	MINOR CONTOUR	\$	*	LIGHT POLE
——20——	20	MAJOR CONTOUR	(● ^{TMH}	TELEPHONE MANHOLE
(10)	(10)	PARKING COUNT		_ 	
	©10)	COMPACT PARKING STALLS		T	TRANSFORMER PAD
DYL	DYL		-0-	•	UTILITY POLE
	SL	DOUBLE YELLOW LINE	0-	•-	GUY POLE
SL		STOP LINE	Ţ	Ţ	GUY WIRE & ANCHOR
		CROSSWALK	HH ⊡	HH ⊡	HAND HOLE
		ACCESSIBLE CURB RAMP	PB ⊡	PB ⊡	PULL BOX
Ł.	گ	ACCESSIBLE PARKING			
VAN	VAN	VAN-ACCESSIBLE PARKING			MATCHLINE

brevi	ations
Genera	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
	THEAL
Utility	
СВ	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
НН	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	
l=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

General

LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

2. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.

1. THE PURPOSE OF THESE SITE PLANS ARE TO SUPPORT THE PERMITTING DOCUMENTS FOR THE PROJECT.

- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES
- SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. 4. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND
- 5. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
- 6. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 8. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT
- 9. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 10. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S
- 11. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 12. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 13. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO
- 14. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT
- 15. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE DWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE
- SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION. 5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY
- SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
 - A. WATER PIPES SHALL BE HDPE CTS 250PSI PIPE AND COMPLY WITH REGULATIONS AND STANDARDS OF THE DERRY, NH WATER DEPARTMENT.
 - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
 - C. STORM DRAINAGE PIPES SHALL BE SMOOTH INTERIOR DUAL WALL HIGH DENSITY POLYETHYLENE (HDPE)
 - D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- 9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE THREE FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE VERTICAL GRANITE CURB WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC. IN APRIL 2022 AND FEBRUARY 2023/
 - A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY VHB,
 - B. FLAGS MARKING THE WETLANDS WERE LOCATED BY: SENIOR ENVIRONMENTAL SCIENTIST, KRIS
 - WILKES (NH CWS #288) ON FEBURARY 17, 2022.
- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD OF 1988.
- GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM A REPORT TITLE "EXPLORATIONS AND PRELIMINARY GEOTECHNICAL ENGINEERING SERVICES" PUBLISHED BY S.W. COLE ON MARCH 17, 2022.

Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- 2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



Suite 200 Bedford, NH 03110 603.391.3900

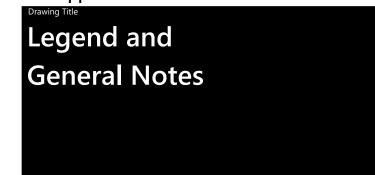
Proposed Chipotle

55 Crystal Ave Derry, NH 03038

No.	Revision	Date	Appvd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Not Approved for Construction

TRC Review

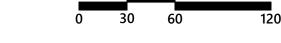


February 23, 2023



603.391.3900





Proposed Chipotle

55 Crystal Ave Derry, NH 03038

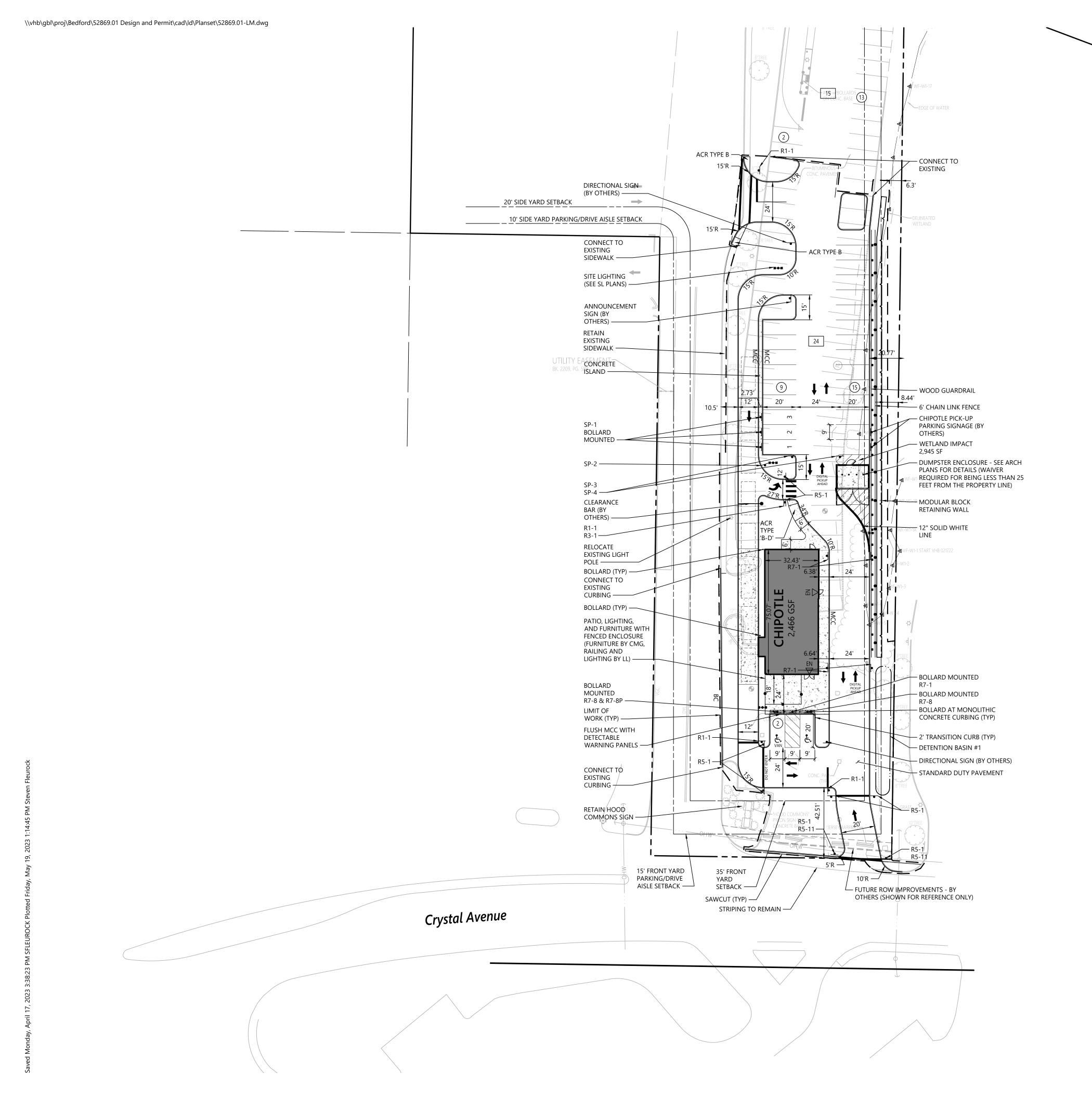
1	TRC RESPONSE TO COMMENTS TRC RESPONSE TO COMMENTS	4/7/2023	DI-
2			DI-
3	TRC RESPONSE TO COMMENTS	5/19/2023	Dł

Designed by	Checked by		
SJF	DHF		
Issued for	Date		
TDC D. '.	Fabruary 22, 2022		

Not Approved for Construction









Sign Summary							
M.U.T.C.D.	Specif	ication					
Number	Width	Height	Desc.				
R1-1	30"	30"	STOP				
R3-1	24"	24"	B				
R5-1	30"	30"	DO NOT ENTER				
R5-11	30"	24"	AUTHORIZED VEHICLES ONLY				
R7-1	12"	18"	NO PARKING ANY TIME				
R7-8	12"	18"	RESERVED PARKING				
R7-8P	12"	6"	VAN ACCESSIBLE				
W11-2	30″	30″	**				
W16-7P	24″	12″					
SP-1*	12"	18"	ORDER PICK UP PARKING ONLY				
SP-2*	12"	18"	PICK UP LANE EMERGENCY EXIST				
SP-3	12"	18"	ACCESSIBLE PARKING AHEAD ONLY				
SP-4	12"	18"	NO EXIT TO CRYSTAL AVENUE				

Parking Requirements:							
RESTAURANT	2,466 SF	х	1 SPACES	/	60 SF	=	41 SPACES
	8 EMP	Х	1 SPACES	/	1 EMP	=	8 SPACES
			TOTAL PARKING REQUIRED			=	49 SPACES

Parking Summary Chart

* 40 INTERIOR SEATS AND 20 EXTERIOR SEATS

	Size		Spaces	
Description	Required	Provided	Required	Provided
STANDARD SPACES	9 x 20	9 x 20	47	24
STANDARD ACCESSIBLE SPACES *	9 x 20	9 x 20	1	1
VAN ACCESSIBLE SPACES*	9 x 20	9 x 20	1	1
TOTAL SPACES			49	26**
STACKING SPACES	-	-	6	8

^{*} ADA/STATE/LOCAL REQUIREMENTS ** WAIVER REQUESTED

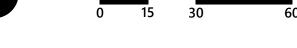
Zoning Summary Chart

Zoning District(S):	ct(S): General Commercial				
Overlay District(S):	Wetland Conservation Distri				
Zoning Regulation Requirements	Required*	Provided			
MINIMUM LOT AREA	30,000 SF	23.3 Acres			
FRONTAGE	125.0 Feet	144.8 Feet			
FRONT YARD SETBACK	35 Feet	96 Feet			
SIDE YARD SETBACK	20 Feet	51.2 Feet			
REAR YARD SETBACK	20 Feet	> 20 Feet			
FRONT YARD PARKING/DRIVE AISLE SETBACK	15 Feet	34 Feet			
SIDE YARD PARKING/DRIVE AISLE SETBACK	10 Feet	20.77 Feet			
MINIMUM INTERIOR LANDSCAPE AREA	5%	13.9%			
WETLAND BUILDING SETBACK	75 Feet	38.6 Feet**			
* Zoning regulation requirements as specified in the To 2021, Section 165-32 GC - General Commercial District		nce dated December 16,			
**Variance granted by the Town of Derry Zoning Ordinance (Case #22-125 - April 7, 2022)					



M.U.T.C.D.	Specif		
Number	Width	Height	Desc.
R1-1	30"	30"	STOP
R3–1	24"	24″	8
R5-1	30"	30"	DO NOT ENTER
R5-11	30"	24"	AUTHORIZED VEHICLES ONLY
R7-1	12"	18"	NO PARKING ANY TIME
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	VAN ACCESSIBLE
W11-2	30″	30″	*
W16-7P	24″	12"	
SP-1*	12"	18"	ORDER PICK UP PARKING ONLY
SP-2*	12"	18"	PICK UP LANE EMERGENCY EXIST
SP-3	12"	18"	ACCESSIBLE PARKING AHEAD ONLY
SP-4	12"	18"	NO EXIT TO CRYSTAL AVENUE





2 Bedford Farms Drive

Bedford, NH 03110

Suite 200

603.391.3900

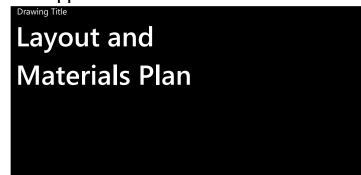
Proposed Chipotle

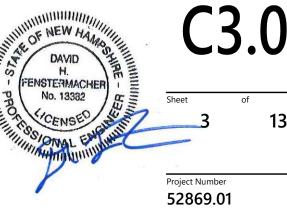
55 Crystal Ave Derry, NH 03038

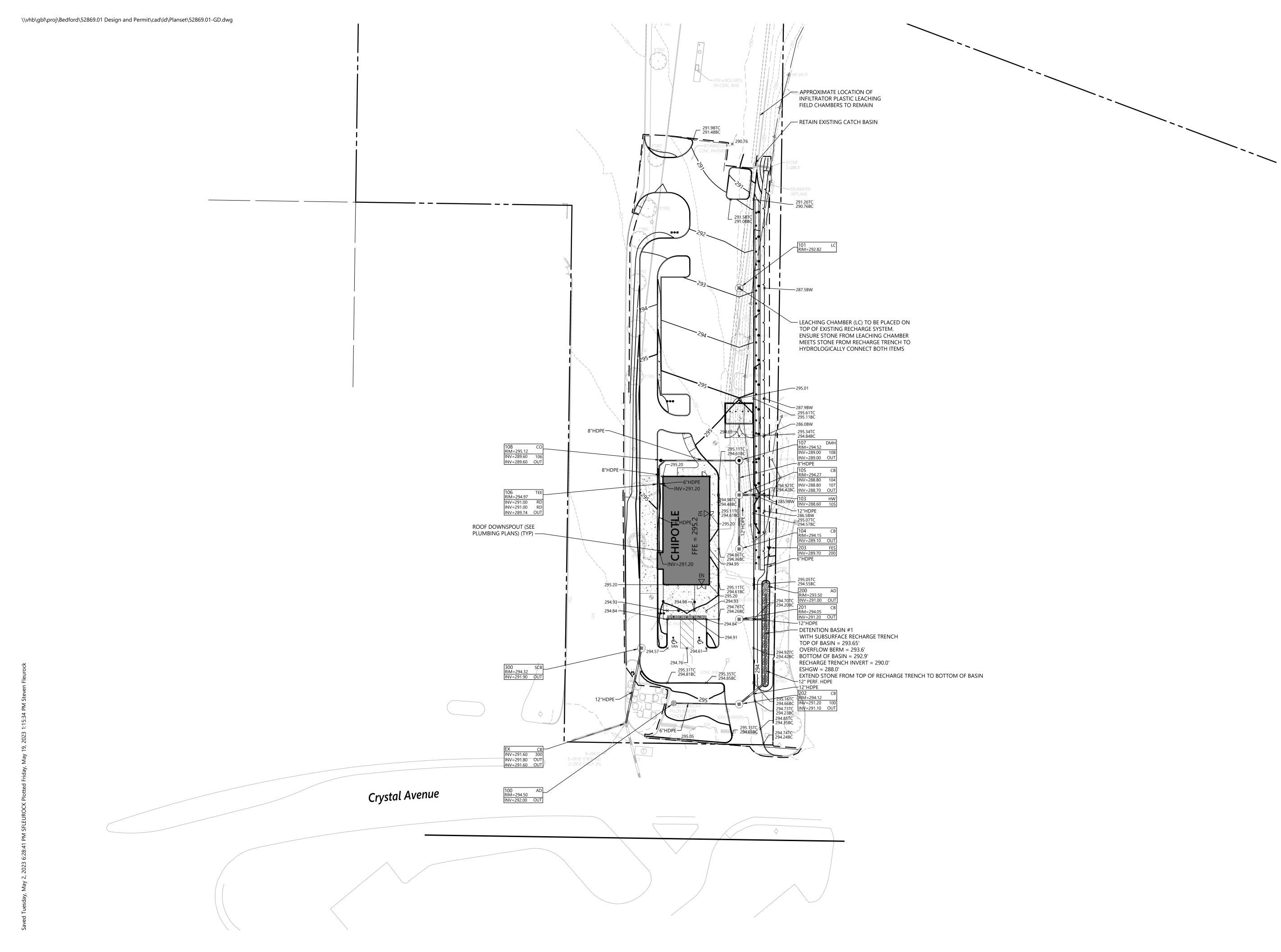
No.	Revision	Date	Appvd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by SJF	Checked by DHF	
Issued for	Date	
TRC Review	February 23, 2023	

Not Approved for Construction

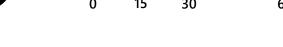












Proposed Chipotle

55 Crystal Ave Derry, NH 03038

1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by SJF	Checked by DHF	
Issued for	Date	
TDC D :	Falamiam, 22, 2022	

TRC Review February 23, 2023

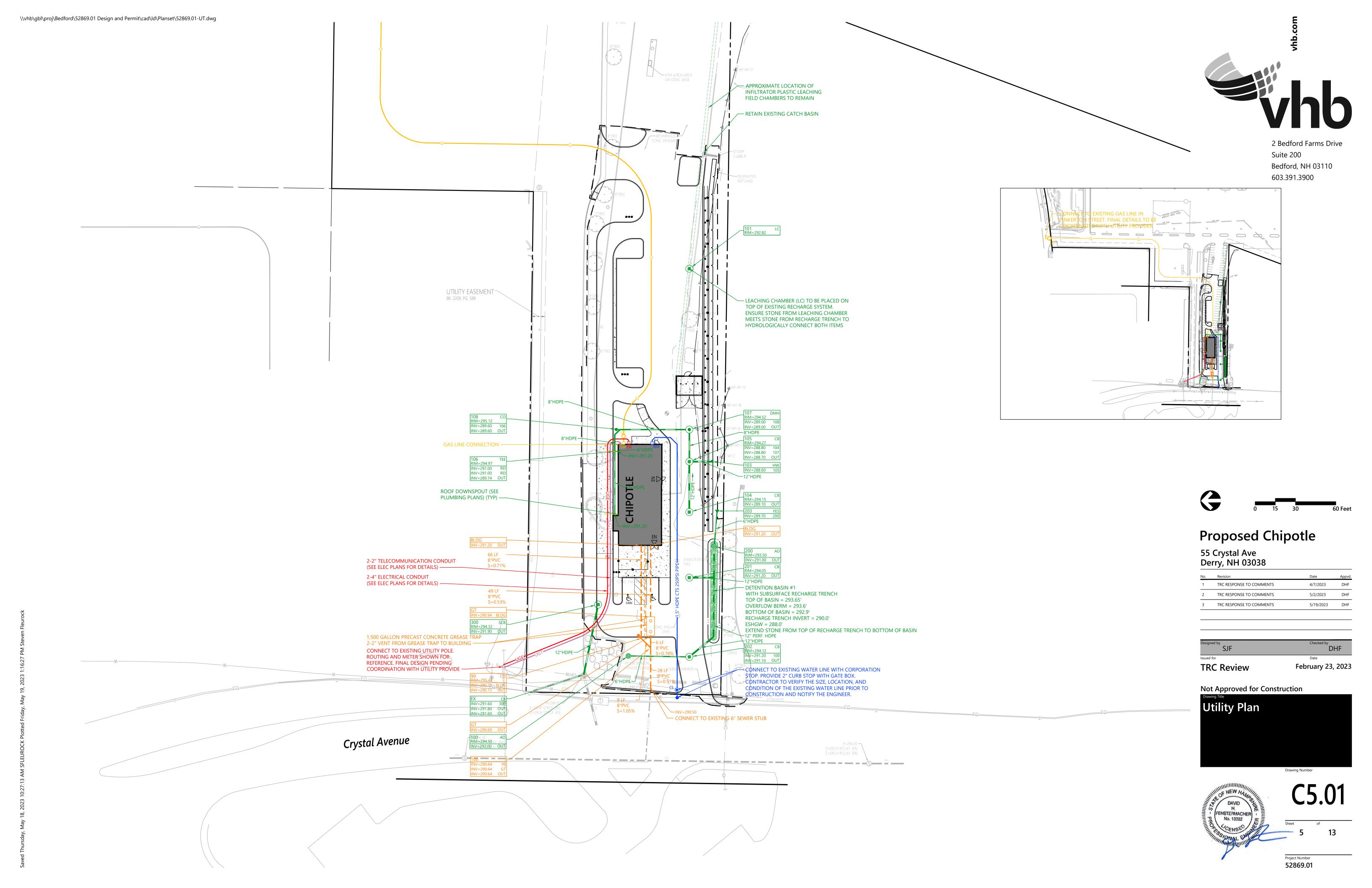
Not Approved for Construction

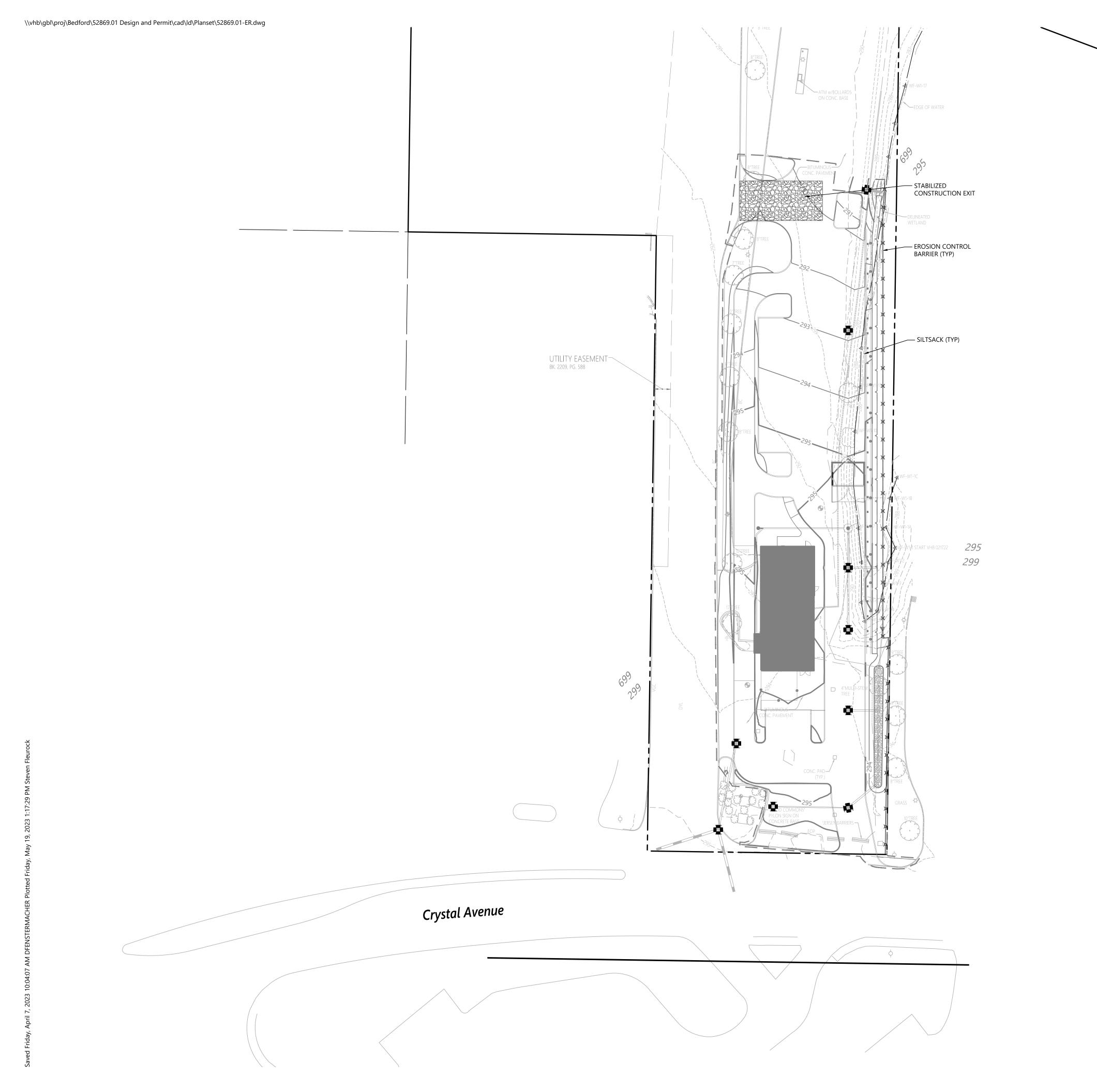
Grading and Drainage Plan

Drawii

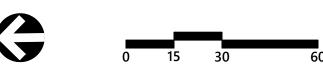


Project Number 52869.01









Proposed Chipotle

55 Crystal Ave Derry, NH 03038

1 TRC RESPONSE TO COMMENTS

2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

4/7/2023 DHF

Issued for	Date	
SJF	DHF	

Not Approved for Construction

Drawing Title

Erosion and Sediment Control Plan

Drawing Num



C6.01

Project Number

Light Pole Foundation Detail (Up to 15' Pole)

N.T.S. Source: VHB

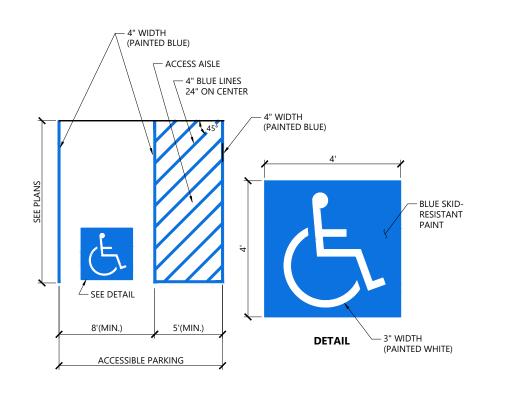
DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. CONTRACTOR TO PROVIDE STAMPED FINAL DESIGN OF LIGHT POLE FOUNDATION BASED ON RECOMMENDATIONS FROM

THE GEOTECHNICAL ENGINEER.

LENGTH AS REQUIRED (SEE STRIPING PLAN) 4" WHITE PAINT (TYP.)

> 1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

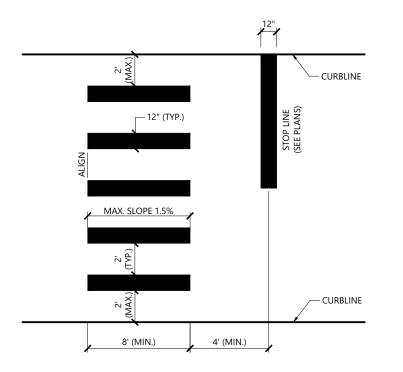
Painted Pavement Markings - On Site



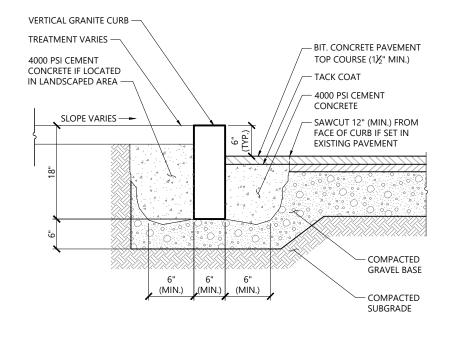
1. ALL DIMENSIONS TO CENTER OF 4" PAVEMENT STRIPING.

2. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.

Accessible Parking Space 12/19 N.T.S. LD_552A

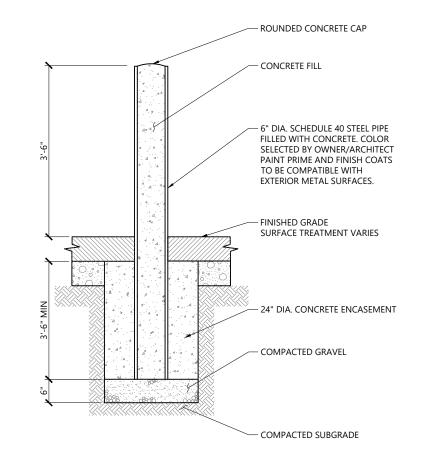


- 1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
- 2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
- 3. ALL LONGITUDINAL CROSSWALK LINES SHALL BE THE SAME LENGTH AND PROPERLY ALIGNED.
- 4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

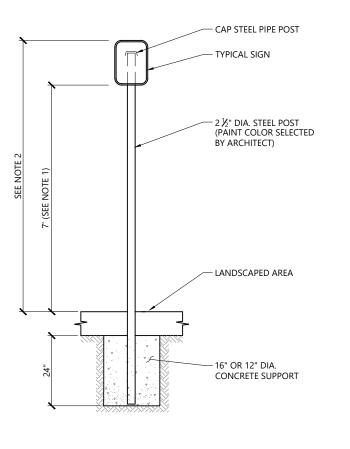


2 Bedford Farms Drive Suite 200 Bedford, NH 03110 603.391.3900

Crosswalk N.T.S. LD_553A **Vertical Granite Curb (VGC)** 3/20 LD_402

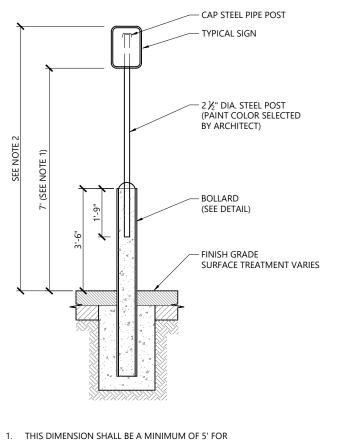


Bollard N.T.S. Source: VHB



1. THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE. 2. THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE

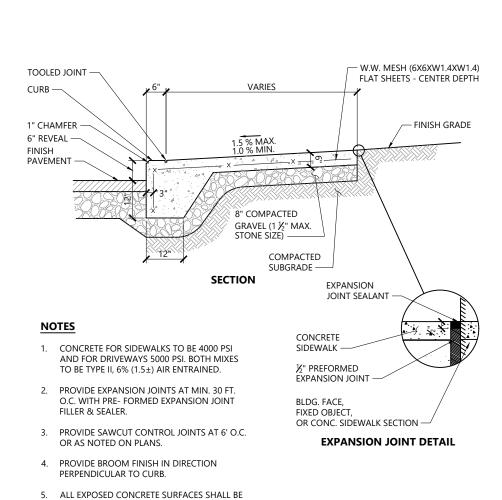




ACCESSIBLE SIGNAGE.

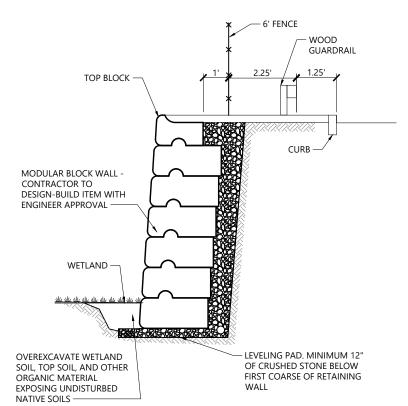
2. THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE

Bollard Mounted Sign		2/20
N.T.S.	Source: VHB	LD_703



Monolithic Concrete Curb (MCC) & Sidewalk LD_421

SEALED WITH A SILANE-SILOXANE PRODUCT.



Retaining Wall Cross Section LD_750

Non-woven geotextlle fabric (If specified by Engineer based or site soil conditions)

— Fill wedge between adjacent blocks with drainstone (all blocks)
Fill vertical core slot with drainstone (PC blocks)

Middle block (Typical)
 Block widths vary with design

Solld bottom block
 Block widths vary with design

Drain (As specified by Engineer)

Leveling pad (As specified by Engineer)

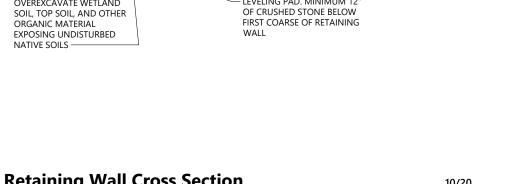
This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual professional engineer actual engine

Typical Gravity Wall Detail

FILE: 1 Typical Gravity Wall Detail 031716.dwg

Setback = 1 \(\frac{5}{8}\) (41 mm (5° batter angle on wall)

Exposed wall (Height varies with design)



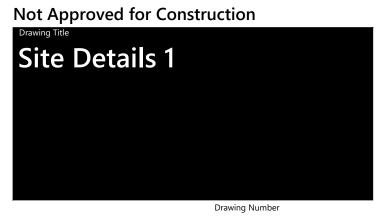
TRC RESPONSE TO COMMENTS 4/7/2023 TRC RESPONSE TO COMMENTS 5/2/2023 DHF **Typical Gravity Wall Section** TRC RESPONSE TO COMMENTS 5/19/2023 DHF

> **TRC Review** February 23, 2023

Proposed Chipotle

55 Crystal Ave

Derry, NH 03038



Project Number

52869.01

★ 1½" SUPERPAVE SURFACE COURSE - 12.5MM — COMPACTED SUBGRADE STANDARD DUTY FLEXIBLE PAVEMENT

5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.

3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.

4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).

2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.

Accessible Curb Ramp (ACR) - Type 'B'

6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING. 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.

BOTTOM OF RAMP TO BE LEVEL WITH ADJACENT SURFACE.

12/20

LD_501

Bituminous Concrete Pavement Sections 11/19 LD_430 N.T.S. Source: VHB

PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE

RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

ALL CURBING TO BE MACHINE EXTRUDED

COMPACTED GRAVEL

(1½" MAX STONE SIZE)

Bituminous Curb (BC) LD_406 N.T.S. Source: VHB

— COMPACTED

SUBGRADE

- 2" RADIUS (TYP.)

- BITUMINOUS

(TOP COURSE)

- BITUMINOUS CONC. PAVEMENT

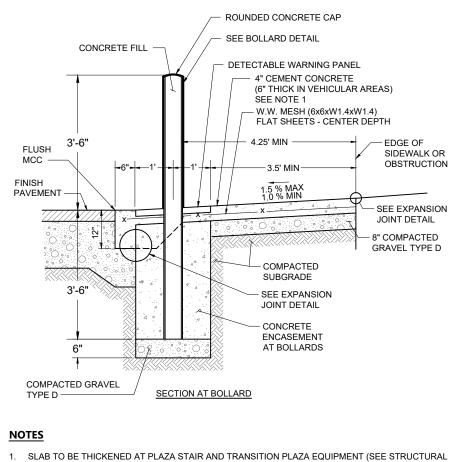
> NOTES
> DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. STAMPED FINAL DESIGN OF MODULAR WALL SYSTEM TO BE PROVIDED BY CONTRACTOR BASED ON GEOTECHNICAL ENGINEER'S RECOMMENDATIONS **Modular Retaining Wall**

ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

LANDSCAPE AREA (TYP.)

- 1. SIZE OF PAD TO BE AS INDICATED ON PLANS.
- 2. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 30 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.

Dumpster Pad N.T.S. Source: VHB



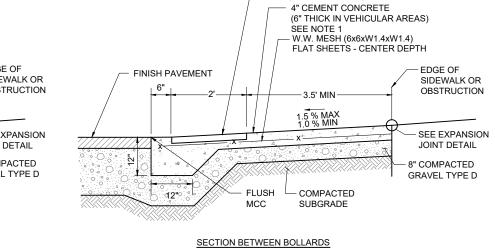
2. CONCRETE FOR SIDEWALKS TO BE 4000 PSI TYPE II, 6% (1.5±) AIR ENTRAINED.

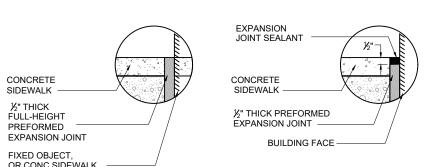
5. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

4. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.

3. PROVIDE EXPANSION JOINTS AT MAX 30 FT O.C. WITH PRE-FORMED EXPANSION JOINT FILLER.

Bollard at Monolithic Concrete Curbing (MCC) & Sidewalk

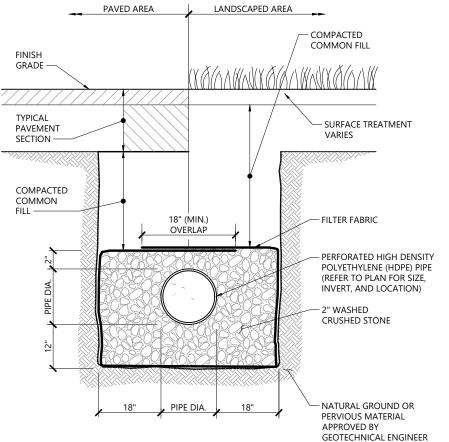


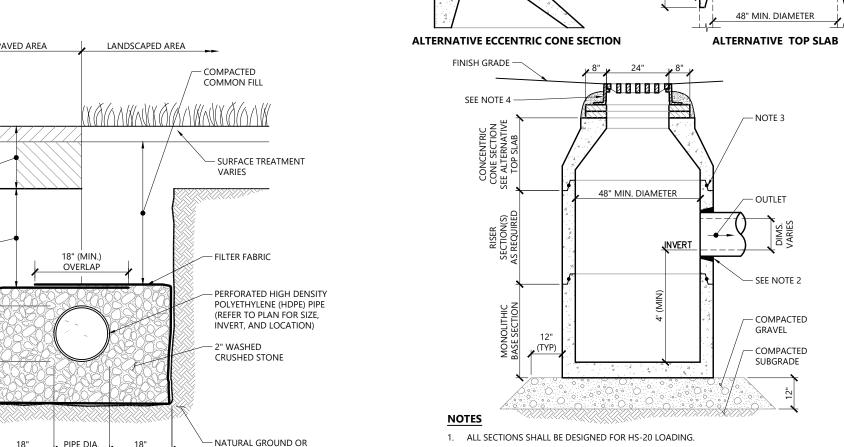


OR CONC SIDEWALK **EXPANSION JOINT DETAIL**

- DETECTABLE WARNING PANEL

Subsurface Recharge Trench 12/19 LD_181





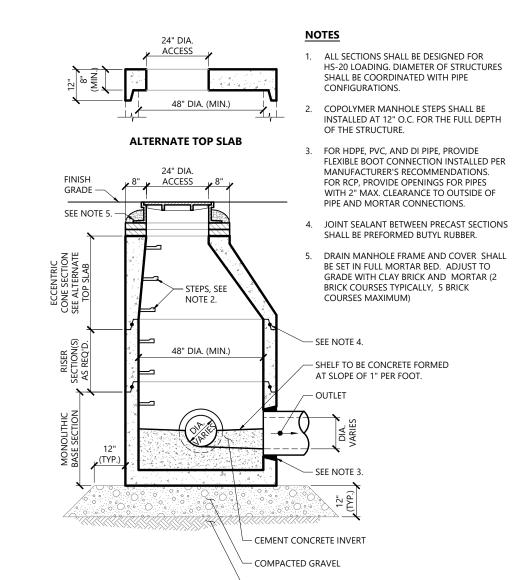
2. FOR HDPE, PVC, AND DI PIPE, PROVIDE FLEXIBLE BOOT CONNECTION INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FOR RCP, PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE AND MORTAR CONNECTIONS. 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.

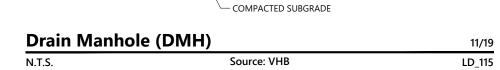
— COMPACTED

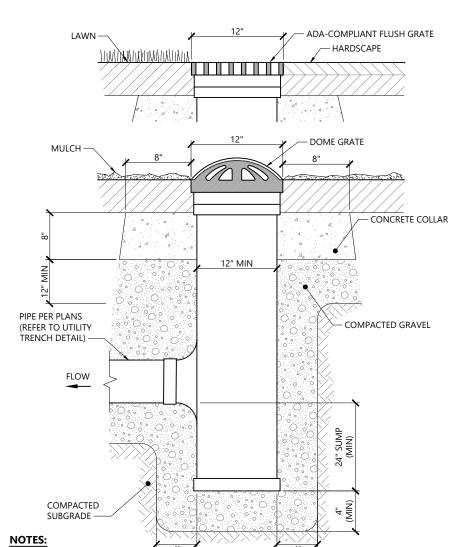
SUBGRADE

4. CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

Catch Basin (CB) 11/19 Source: VHB LD_100







- 1. AREA DRAINS SHALL BE NYLOPLAST 12" DIAMETER DRAIN BASIN, OR APPROVED EQUAL.
- 2. GRATES SHALL BE NYLOPLAST 12" PEDESTRIAN MODEL 1299CGP OR 12" DOME GRATE MODEL 1299CGD (OR APPROVED EQUAL).

3. WHEN AREA DRAIN GRATE IS SET ABOVE GRADE, ALL VISIBLE PIPE SHALL BE BLACK Area Drain (AD) Type 1 12/19 LD_193



2 Bedford Farms Drive

Bedford, NH 03110

Suite 200

603.391.3900

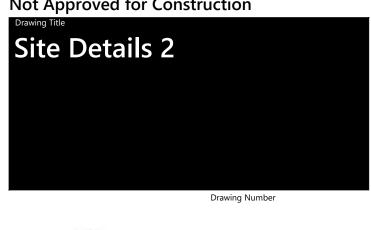
Proposed Chipotle

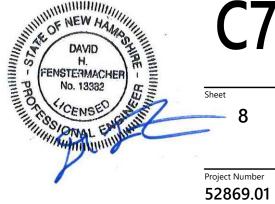
55 Crystal Ave Derry, NH 03038

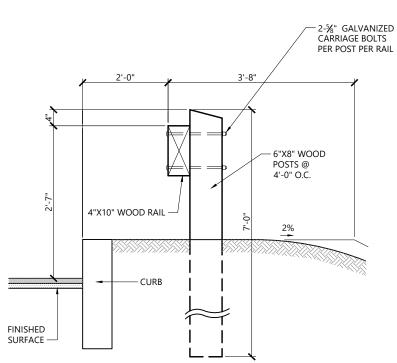
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF

Designed by SJF **TRC Review** February 23, 2023

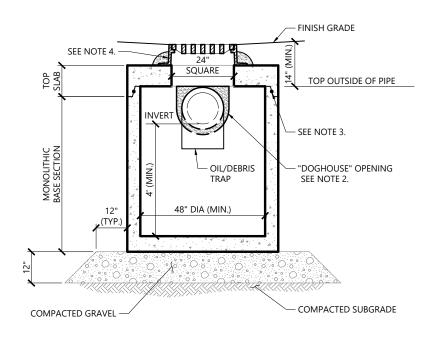
Not Approved for Construction





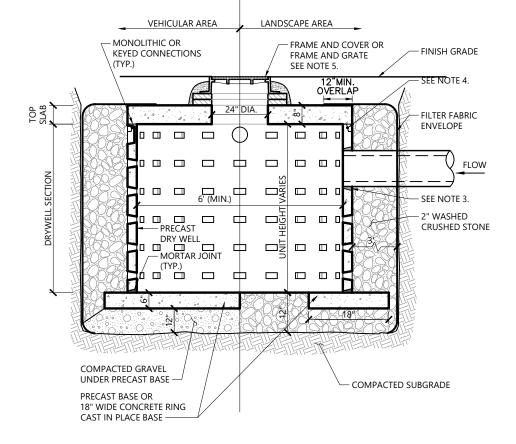


Vood Guardrail		10/20
I.T.S.	Source: VHB	LD_450



- 1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
- PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS
- 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER. 4. CATCH BASIN FRAME AND GRATE (4"DEPTH) SHALL BE SET IN FULL MORTAR BED.
- 5. ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.

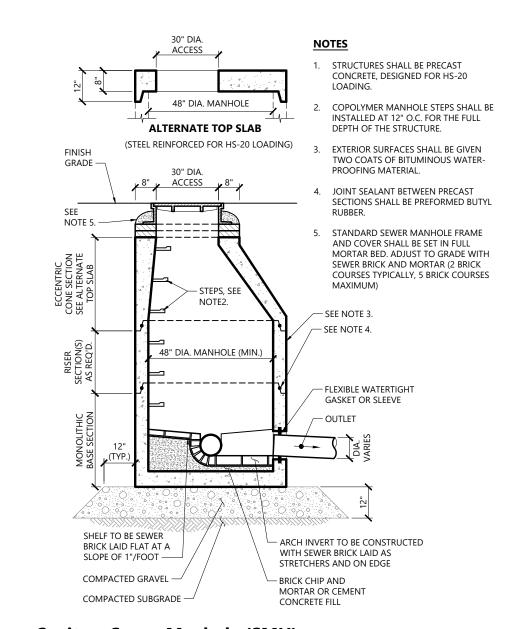
Catch Basin (CB) Shallow Cover with Oil/Debris Trap 1/16



- 1. BASE SECTION SHALL BE PRECAST CONCRETE WITH MORTARED JOINTS OR CAST IN PLACE.
- 2. ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
- 3. PROVIDE PRECAST OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
- 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.

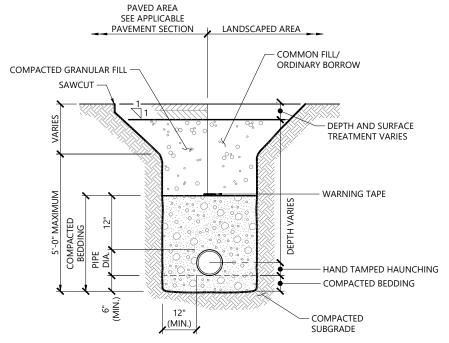
5. FRAME AND COVER OR GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)

Leaching Chamber (LC) LD_180 Source: VHB



Sanitary Sewer Manhole (SMH) 1/16 LD_200 2 Bedford Farms Drive Suite 200 Bedford, NH 03110

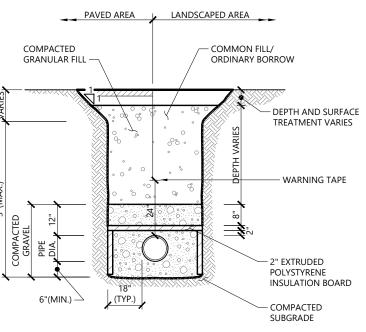
603.391.3900



COMPACTED SUBGRADE —

- 1. WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
- 2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
- 3. COMPACTED GRANULAR FILL MAY CONSIST OF GRAVEL, CRUSHED STONE, SAND, OR OTHER MATERIAL AS APPROVED BY ENGINEER.
- 4. WATER LINE SHALL BE A 1.5" HDPE CTS 250PSI PIPE WITH 10 GAUGE WIRE FASTENED TO IT FOR LOCATING FROM THE TAP TO THE METER.

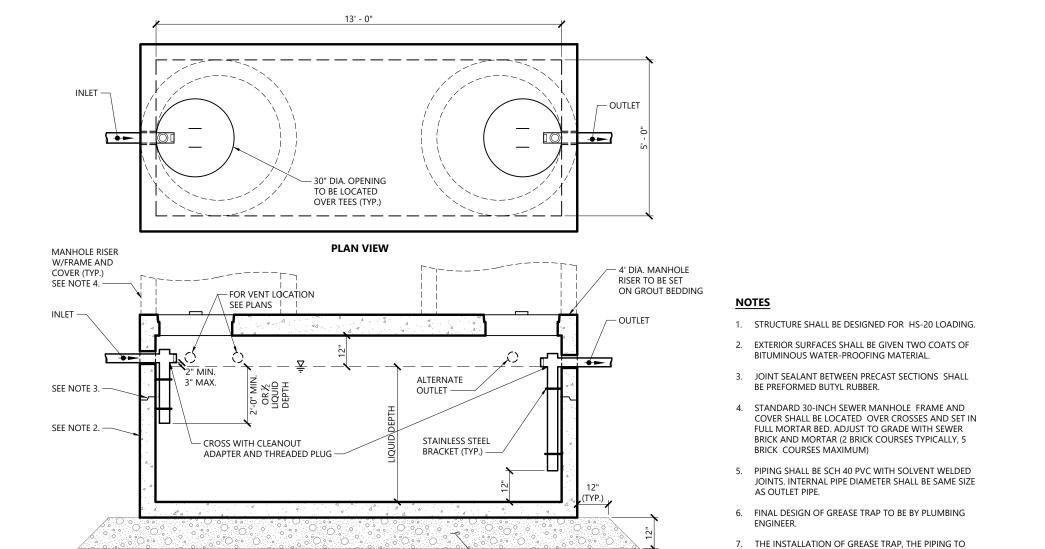
Utility Trench		11/19
N.T.S.	Source: VHB	LD_300



- 1. SEWER LINE SHALL BE INSULATED WHEN COVER IS LESS THAN FOUR (4) FEET AND WHERE SHOWN ON PLANS.
- 2. WATER LINE SHALL BE INSULATED WHEN COVER IS LESS THAN FIVE (5) FEET AND WHERE SHOWN ON PLANS.
- BACKFILL PLACED IN UTILITY TRENCHES INCLUDING DISTURBED AREAS SURROUNDING UTILITY TRENCHES SHALL BE PLACED AND COMPACTED IN 12" (MAX.) VERTICAL LIFTS.

Utility - Pipe	Insulation	12/19
N.T.S.	Source: VHB	LD_305

AND 10 FEET BEYOND IS BY PLUMBER.



Precast Concrete Grease Trap (GT) 12/19 LD_210 Source: VHB

COMPACTED GRAVEL

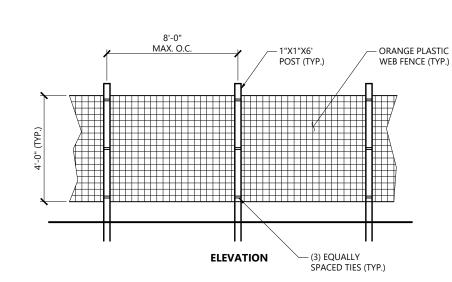
Proposed Chipotle

55 Crystal Ave Derry, NH 03038

No.	Revision	Date	Appvd
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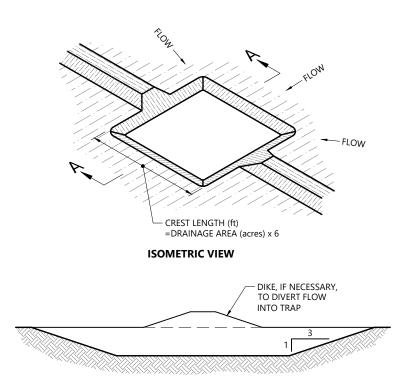
TRC Review February 23, 2023





1. INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN.

Tree Protection Fence



1. THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS

SECTION A-A

- 2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
- 4. THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- 5. THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA. 6. THE TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.

PLAN VIEW

CROSS-SECTION

1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS

RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL

SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC

RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE

PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE

3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL

THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC

└─ 3" HIGH MOUNTABLE BERM

7. THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

Temporary Sediment Trap

Source: NH Stormwater Manual

FABRIC -

PROVIDED AS NEEDED.

FINISH MATERIALS BEING INSTALLED.

3" CRUSHED STONE —



— 1" X 1" X 3' WOOD STAKE,

SECTION VIEW

PROMPTLY AS NEEDED.

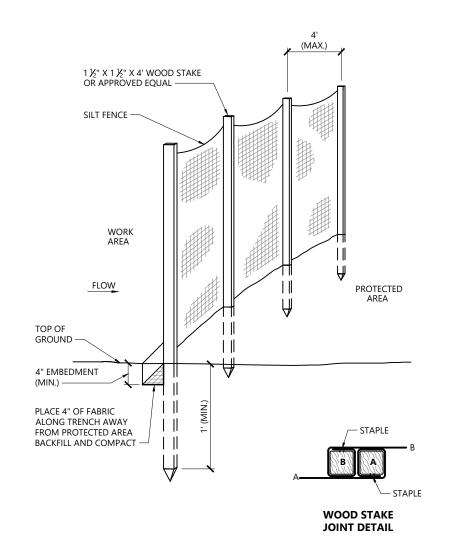
CATCH BASIN

STRAW BALE

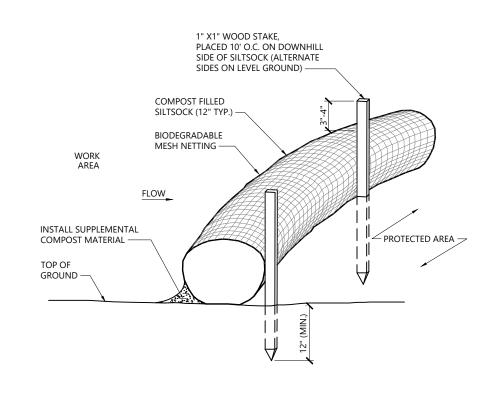
- ENCLOSE STRUCTURE WITH HAYBALES IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION. MAINTAIN UNTIL PAVING BINDER COURSE IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
- 2. IF GRATE IS AGAINST EXISTING CURB THEN BALES ARE TO BE PLACED AROUND THREE SIDES OF GRATE ONLY.
- 3. GRATE TO BE PLACED OVER FILTER FABRIC. 4. BALES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED

Catch Basin Sediment Trap LD_673 Source: VHB



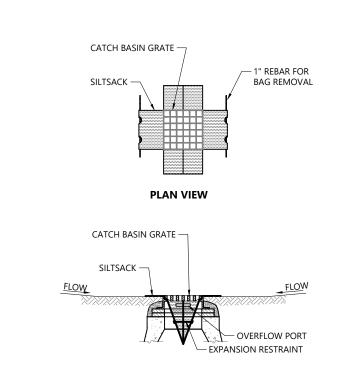


Silt Fence Barrier		1/16
N.T.S.	Source: VHB	LD_650



- SILTSOCK SHALL BE FILTREXX SILTSOXX, OR APPROVED EQUAL.
- 3. SILTSOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY
- 4. UPON SITE STABILIZATION, COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
- IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock	- Erosion Control Barrier	10/20
N.T.S.	Source: VHB	LD_658



SECTION VIEW

- 1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
- 2. GRATE TO BE PLACED OVER SILTSACK.
- 3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN

Siltsack Sediment Trap N.T.S. LD_674

CONSTRUCTION SEQUENCE:

EROSION CONTROL

PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND

- LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON
 A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT (0.5" OF RAINFALL OR GREATER) AND DISPOSE
 OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE
- 6. AREAS REMAINING UNSTABILIZED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED. STRAW MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1-1/2 TONS/ACRE.
- 7. PERMANENT SEEDING SHALL OCCUR BETWEEN APRIL 1 AND JUNE 1, AND/OR BETWEEN AUGUST 15 AND OCTOBER 15. ALL SEEDING FROM SEPTEMBER 15 SHALL BE STRAW MULCHED.
- 8. DUST SHALL BE CONTROLLED THROUGH THE USE OF WATER.
- 9. SOILS TO BE STOCKPILED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED.
- CONTRACTOR SHALL INSTALL SILT FENCING ALONG DOWNHILL SIDE OF STOCKPILES. 10. CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS TO CONTROL SEDIMENTATION AND STORMWATER RUNOFF DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL SUBMIT PROPOSED BASIN LOCATIONS, DESIGNS, ETC. TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. TEMPORARY SEDIMENTATION BASINS SHALL
- 11. CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROL MEASURES TO ENSURE THAT SURFACE WATER RUN-OFF FROM UNSTABILIZED AREAS DOES NOT CARRY SILT, SEDIMENT, AND OTHER DEBRIS OUTSIDE OF THE LIMITS OF WORK.
- 12. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED: 12.1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED; 12.2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; 2.3. A MINIMUM OF 3-IN OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED:
- 12.4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 13. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. 14. ALL DITCHES, SWALES, AND DRAINAGE BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- 15. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- 16. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. 17. ALL PERMANENT AND TEMPORARY SEEDING SHALL BE AS FOLLOWS (UNLESS OTHERWISE NOTED):

7. ALL PERMANENT AND TEMPORA	RY SEEDING SHALL BE A	S FOLLOWS (UNLESS (THERWISE NOTED):
		GERMINATION	PURITY
PERMANENT SEEDING	PROPORTION	MINIMUM	MINIMUM
LAWNS:			
CREEPING RED FESCUE	50%	85%	95%
KENTUCKY BLUEGRASS	40%	85%	90%
MANHATTAN PERENNIAL RYE	10%	90%	95%
		GERMINATION	
TEMPORARY SEEDING*	% WEIGHT	MINIMUM	
WINTER RYE	80% MIN.	85%	
RED FESCUE (CREEPING)	4% MIN.	80%	
PERENNIAL RYE GRASS	3% MIN.	90%	
RED CLOVER	3% MIN.	90%	
OTHER CROP GRASS	0.5% MAX.		
NOXIOUS WEED SEED	0.5% MAX.		

- TEMPORARY SEED FOR LAWNS SHALL ONLY BE PLANTED WHEN PERMANENT GRASSES CANNOT BE PLANTED DUE TO THE
- 18. NO-MOW PLANTING MIX SHALL BE APPLIED TO TEMPORARY DISTURBANCES AREAS AROUND HUMPHREY BROOK. THE SEED MIX SHALL BE THE "NEW ENGLAND CONSERVATION WILDLIFE MIX" AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC.
- 19. THE PROJECT SHALL BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- 20. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION-CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE, THE PROPERTY OWNER SHALL BE REQUIRED TO INSTALL THE

DURING EXECUTION OF THE WORK.

INERT MATTER

1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.

- 2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL
- 4. THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE DBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS.

2 Bedford Farms Drive

Suite 200 Bedford, NH 03110 603.391.3900

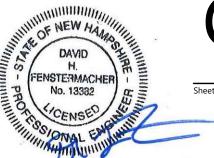
Proposed Chipotle

55 Crystal Ave Derry, NH 03038

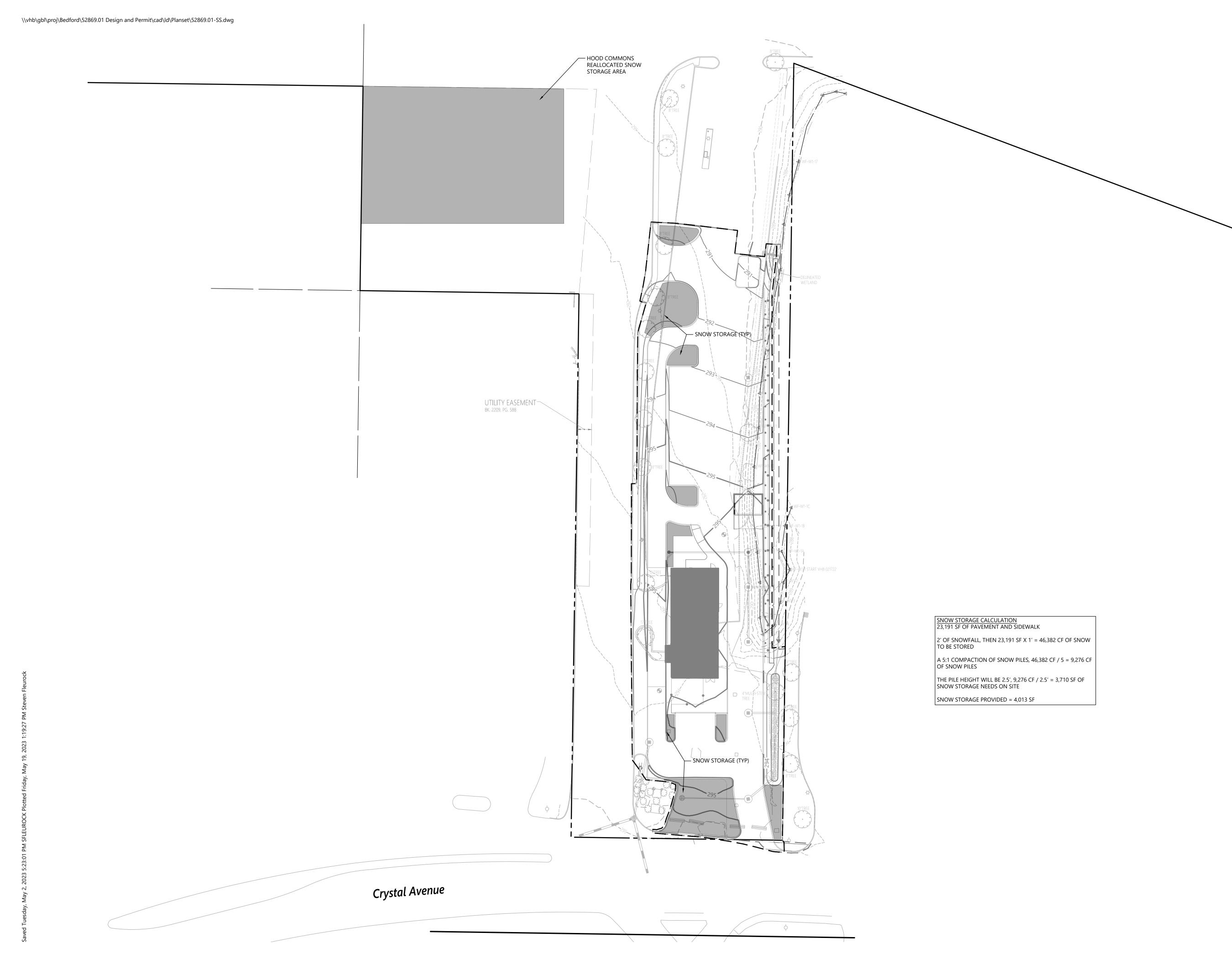
No.	Revision	Date	Appvd
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

TRC Review February 23, 2023



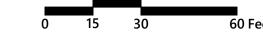


Project Number 52869.01









Proposed Chipotle

55 Crystal Ave Derry, NH 03038

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SJF	Checked by DHF
Issued for	Date
TRC Review	February 23, 2023

TRC Review

Not Approved for Construction

Snow Storage Plan





DECIDUOUS TREES	QTY	BOTANICAL NAME Acer rubrum `October Glory`	COMMON NAME	SIZE
ARO	2		October Glory Maple	2 1/2 - 3" CA
GТ	6	Gleditsia triacanthos `Skyline`	Skyline Honeylocust	2 1/2 - 3" CA
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	3	Carpinus caroliniana	American Hornbeam	2 - 2 1/2" CA
SHRUBS CAH JBH VC YV	QTY 29 169 23 20	BOTANICAL NAME Clethra alnifolia `Hummingbird` Juniperus horizontalis `Bar Harbor` Vaccinium corymbosum Yucca filamentosa 'Variegata'	COMMON NAME `Hummingbird` Summersweet Bar Harbor Creeping Juniper Highbush Blueberry Variegated Adams's Needle	SIZE 18 - 24" HT. 18 - 24" SPD 2 - 3` HT. 18 - 24" SPD
GRASSES	QTY	BOTANICAL NAME Deschampsia cespitosa	COMMON NAME	SIZE
DC	92		Tufted Hair Grass	#2 POT
PERENNIALS	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	<u>SIZE</u>
AN	92	Aster novae-angliae	New England Aster	#1 POT
RH	150	Rudbeckia hirta	Black-eyed Susan	#2 POT

REMARKS 8' BRANCHING

HEIGHT MINIMUM

ZONING REQUIREMENT NOTES:

15' WIDE STREET TREE STRIP ALONG FRONTAGE:

- 1 NATIVE TREE FOR EVERY 50' OF FRONTAGE (100' / 50 = 2 TREES)
- MINIMUM 25' BETWEEN TREES
- MINIMUM 2.5" CALIPER
- MINIMUM 8' BRANCHING HEIGHT

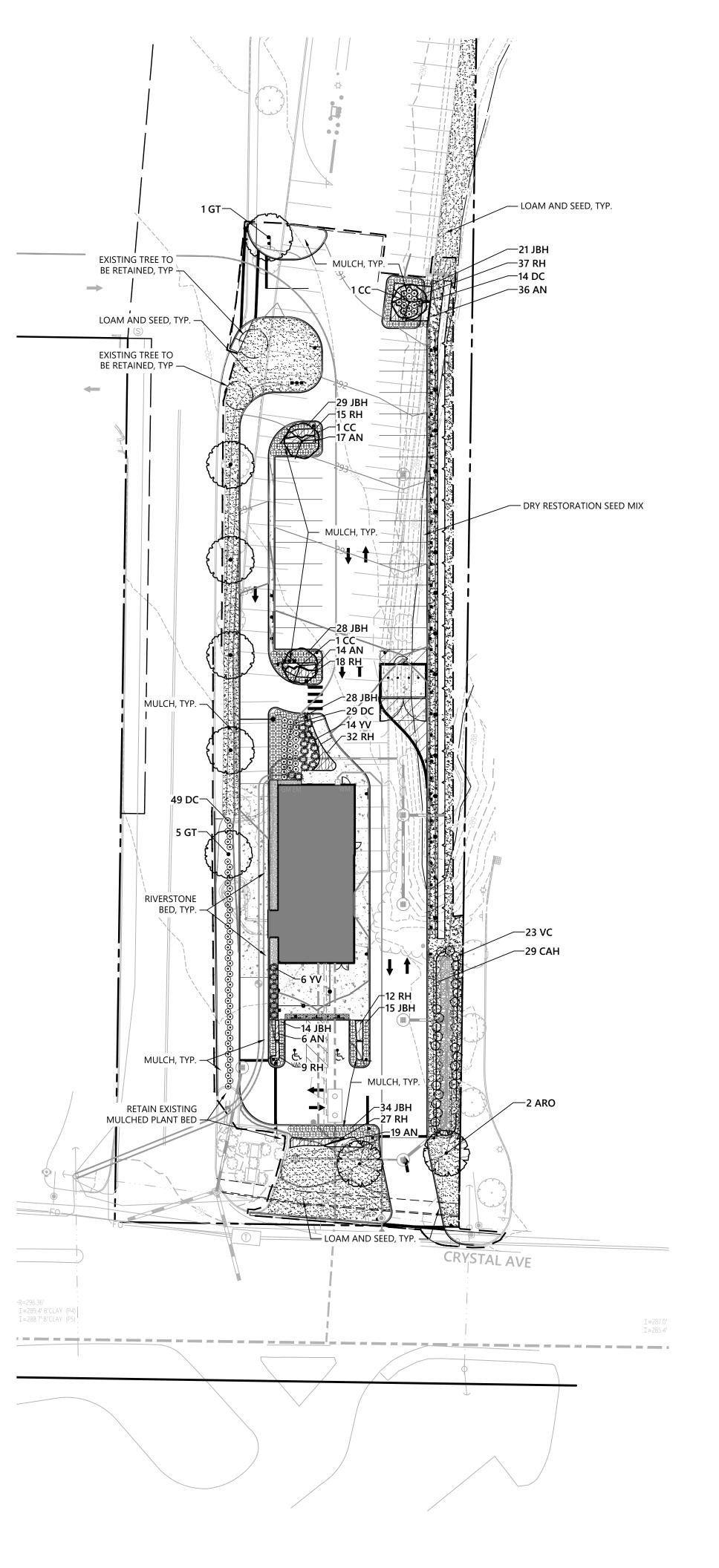
DECIDUOUS / ORNAMENTAL TREES:

- 1 DECIDUOUS / ORNAMENTAL TREE FOR EVERY 30' OF BUILDING EDGE (218' / 30 = 7.26 = 8 TREES)
- MINIMUM 2.5" CALIPER

- 1 DECIDUOUS / EVERGREEN SHRUB PER 2 PARKING SPACES (49 SPACES / 2 = 24.5 = 25 SHRUBS)
- MINIMUM 18" HEIGHT AND WIDTH

LOCATION:

25% OF TREES AND SHRUBS TO BE LOCATED WITHIN CURBED AND RAISED ISLANDS WITHIN PAVED AREAS



Planting Notes

- 1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- 3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS
- 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- 10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Plant Maintenance Notes

- 1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- 3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

Tree Protection

- 1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

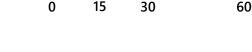
Seed Mixtures:

- 1. AREAS INDICATED AS "DRY RESTORATION SEED MIX" ARE TO BE SEEDED WITH NEW ENGLAND CONSERVATION EROSION CONTROL/RESTORATION MIX FOR DRY SITES, AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. AMHERST, MA (413) 548-8000, www.NEWP.com,OR AN APPROVED EQUAL. APPLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- 2. AREAS INDICATED AS "BIORETENTION SEED MIX" ARE TO BE SEEDED WITH NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION PONDS AND MOIST AREAS, AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. AMHERST, MA (413) 548-8000, www.NEWP.com,OR AN APPROVED EQUAL. APPLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.



2 Bedford Farms Drive Suite 200 Bedford, NH 03110 603.391.3900





Proposed Chipotle

55 Crystal Ave Derry, NH 03038

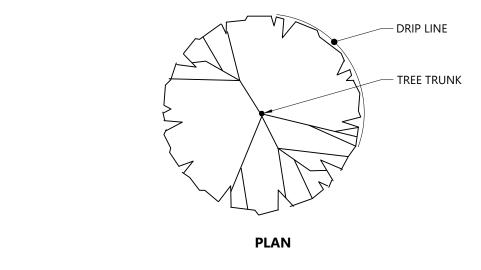
1	No.	Revision	Date	Appvd.
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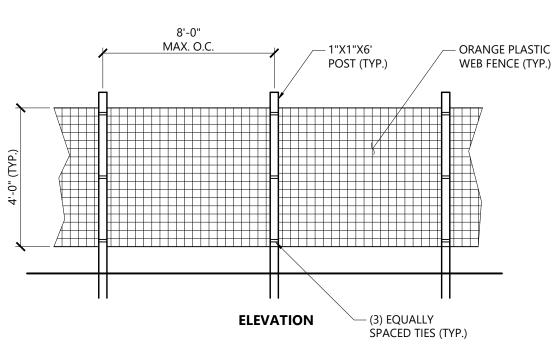
February 23, 2023

TRC Review

Not Approved for Construction

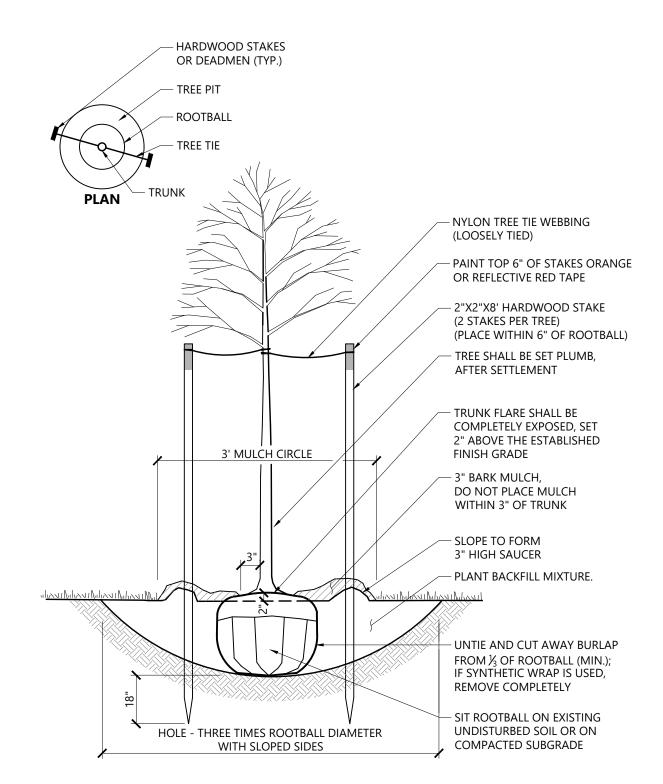
Planting Plan



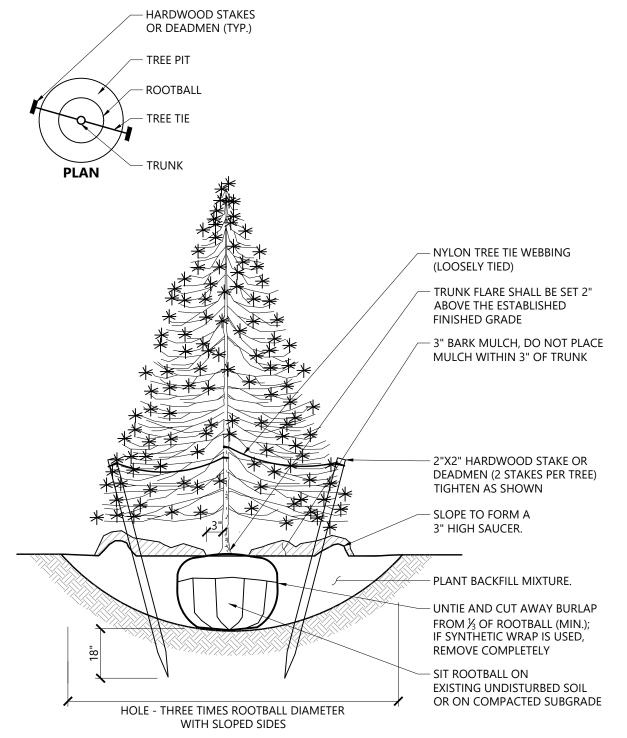


INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN.

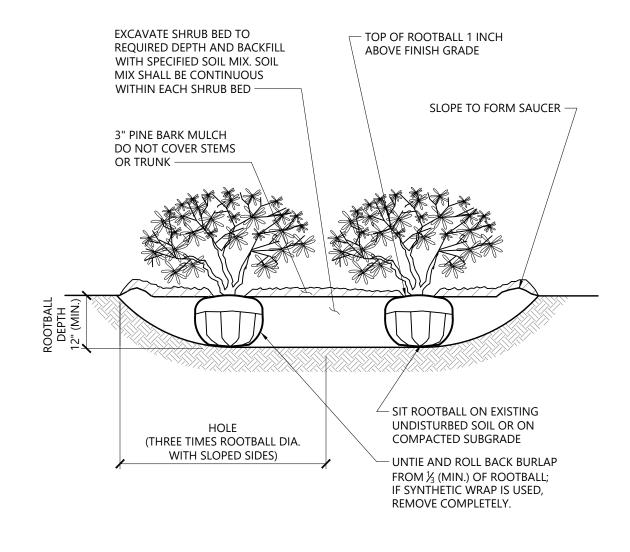
Tree Protection Fence 1/16 N.T.S. LD_610 Source: VHB







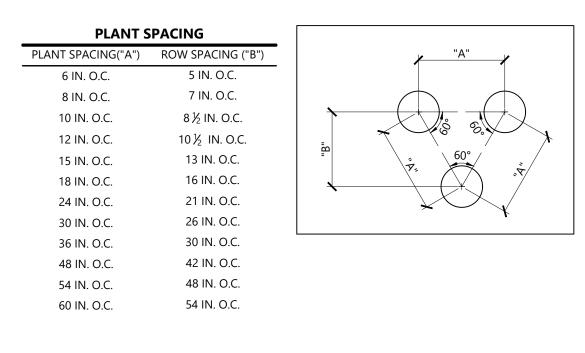
Evergreen Tree Planting 9/21 LD_604 Source: VHB

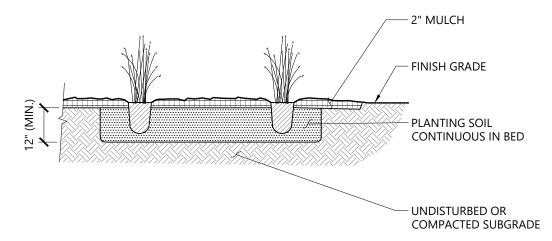


NOTES

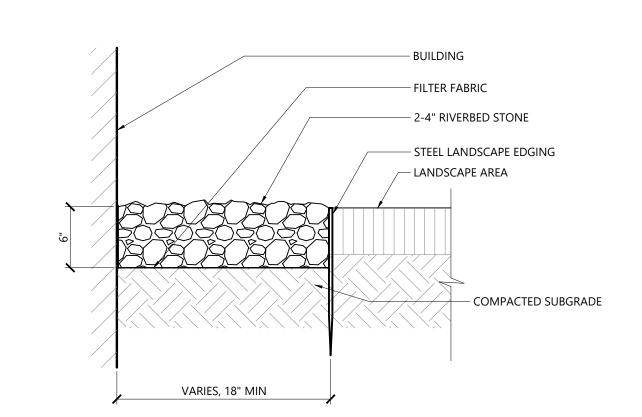
LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting		1/16
N.T.S.	Source: VHB	LD 601





Perennial and Ornamental Grass Planting		1/16
N.T.S.	Source: VHB	LD_618



Riverstone Bed Source: VHB N.T.S.

Proposed Chipotle

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2 Bedford Farms Drive

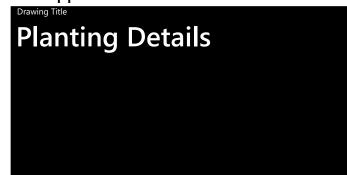
Bedford, NH 03110

Suite 200

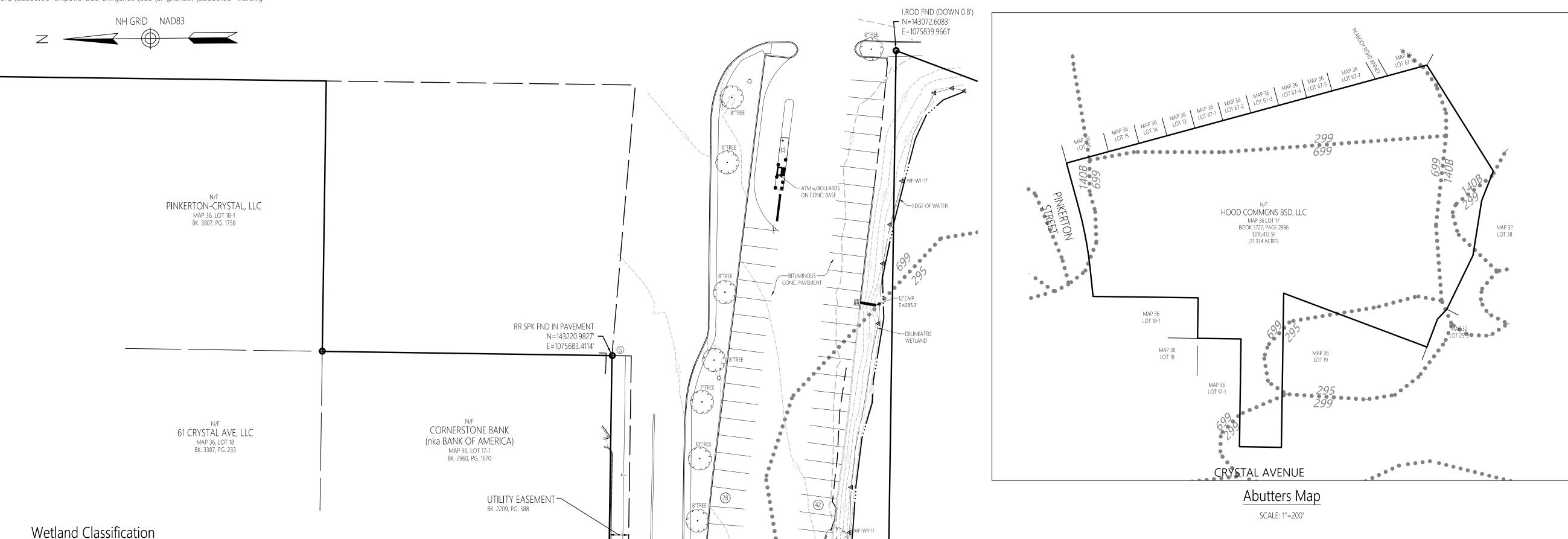
603.391.3900

Designed by	Checked by			
JCL	MK			
Issued for	Date			
TRC Review	February 23, 2023			

Not Approved for Construction



13 13



CONC. PAVEMENT

CRYSTAL AVENUE

CONC. PAD

'JERSEY BARRIERS -

BENCHMARK

NAVD 88

BENCHMARK

ELEV.=294.95 NAVD 88

R=296.36' I=289.36' N I=288.66' S I=291.8' 12"RCP (P2) I=291.6' 12"RCP (P1)

CHISLED BOX IN NE CORNER OF BASE

XCUT BOLT AT SE CORNER OF BASI

CHINA CASTLE, INC.

MAP 36, LOT 19

BK. 4267, PG. 2725

WF-WH START VHB 021722 295

Wetland Notes

1. VHB SENIOR ENVIRONMENTAL SCIENTIST, KRISTOPHER WILKES (NH CWS #288), DELINEATED JURISDICTIONAL WETLANDS ADJACENT TO THE PROPOSED LIMITS OF DISTURBANCE ON FEBRUARY 17, 2022.

PEM1E - PALUSTRINE, EMERGENT, PERSISTENT, SEASONALLY FLOODED/SATURATED

- 2. WETLAND DELINEATION WORK WAS PERFORMED IN ACCORDANCE WITH THE PROCEDURES AND STANDARDS OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0 (JANUARY 2012) USING ALPHA-NUMERICALLY CODED PINK FLAGGING TAPE.
- 3. WETLANDS WERE CLASSIFIED USING THE USFWS METHODOLOGY CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES (COWARDIN ET AL. 1979, REVISED 1985).

General Notes

- 1) THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF THE PORTION OF MAP 36, LOT 17 THAT IS BEING PROPOSED FOR DEVELOPMENT.
- 2) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON PLAN REFERENCE 1 AND DO NOT REPRESENT A BOUNDARY SURVEY BY VHB. THE GEOMETRY OF PLAN REFERENCE 1 CLOSES BETTER THAN 1:10,000.
- 3) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN APRIL 2022 AND FEBRUARY 2023.
- 4) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 5) HORIZONTAL DATUM IS BASED ON NH GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 6) THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0339E, EFFECTIVE DATE MAY 17, 2005.
- 7) THE LOT LIES ENTIRELY WITHIN THE GENERAL COMMERCIAL DISTRICT (GC) AS SHOWN ON THE ZONING MAP OF DERRY NEW HAMPSHIRE, DATED DECEMBER 16, 2021. DIMENSIONAL REQUIREMENTS FOR A (GC) AT THE TIME OF THIS SURVEY ARE:

	REQUIRED
MINIMUM LOT AREA	30,000 S.F.*
MINIMUM FRONTAGE	125 FEET
MINIMUM FRONT YARD SETBACK	35 FEET
minimum side yard setback	20 FEET
MINIMUM REAR YARD SETBACK	20 FEET
* WITH PUBLIC SEWER	

- 8) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 9) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.

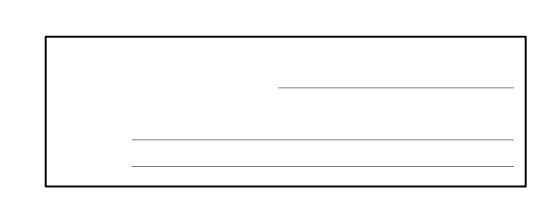


- 140B CHATFIELD-HOLLIS-CANTON COMPLEX 0 TO 8 PERCENT SLOPES, ROCKY
- 295 FREETOWN MUCKY PEAT 0 TO 2 PERCENT SLOPES
- 299 UDORTHENTS
- SMOOTHED

699 URBAN LAND

Plan Reference

1) ALTA/ACSM LAND TITLE SURVEY PREPARED FOR NOMURA ASSET CAPITAL PROJECT SITE No. 138 HOOD COMMONS, CRYSTAL AVENUE DERRY, NEW HAMPSHIRE DATED: MARCH 12, 1997 AND RECORDED AT THE RCRD AS PLAN D-25301.





I=286.95' N I=285.35' S



2 Bedford Farms Drive Suite 200 Bedford, NH 03110

603.391.3900

Legend

DRAIN MANHOLE
CATCH BASIN
SEWER MANHOLE
ELECTRIC MANHOLE
TELEPHONE MANHOLE
MANHOLE

HH HAND HOLE

WATER GATE

FIRE HYDRANT

GAS GATE

● BOLLARD

■ BOLLARD w/LIGHT

■ STREET SIGN

□ LIGHT POLE

□ UTILITY POLE

□ GUY POLE

GUY WIRE

MONITORING WELL

FLOOD LIGHT

MARSH

F.F.E.=45.27'

FINISHED FLOOR ELEVATION
CNO COULD NOT OPEN
NPV NO PIPES VISIBLE
DYL DOUBLE YELLOW LINE
DWL DASHED WHITE LINE
SYL SINGLE YELLOW LINE

LSA LANDSCAPED AREA
EDGE OF PAVEMENT
CC CONCRETE CURB
VGC VERTICAL GRANITE CURB
SGE SLOPED GRANITE EDGE
BB BITUMINOUS BERM
BITUMINOUS CURB

GUARDRAIL

CHAIN LINK FENCE

DRAINAGE LINE

SEWER LINE

OHW

OVERHEAD WIRE

UNDERGROUND ELECTRIC

TELEPHONE LINE

GAS LINE

WATER LINE

STONE WALL

TREE LINE

WF1-100

VEGETATED WETLAND BOUNDARY

Proposed Chipotle 55 Crystal Avenue

Derry, New Hampshire 03038

esigned by Checked by				
	1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
	esigned	d by	Checked by	

February 23, 2023



Sv-

Sheet of 1 1

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> JOB NAME: CHIPOTLE - 55 CRYSTAL AVE - DERRY, NH APEX LIGHTING SOLUTIONS WORKPLANE/CALC PLANE: AT FINISH GRADE MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE APPS: LED/PD

SALES: SP SPECIFIER: VHB-NH

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	[MANUFAC]	Filename
	1	A-2	Back-Back	20843	160.3727	0.850	EH19L-96L-560-NW-G2-AR1-3-VOLT-DD-SP1- SIGNIFY GARDCO		EH19L-96L-560-NW-G3-3.ies
							FINISH, 25ft Pole, 2ft Concrete Base		
	30	В	Single	414	5	0.850	HIHW-10-24V-95C-30K-ST (Modeled as ten preciseLED		HIHE-24V-95C-30K-WET.IES
							one-foot sections), Mounted 7ft2in AFG		
+	1	С	Single	17174	171	0.850	EH19L-96L-560-NW-G2-AR1-2-VOLT-DD-SP1-	SIGNIFY GARDCO	EH19L-96L-560-NW-G3-2-HIS.ies
							HIS-FINISH, 25ft Pole, 2ft Concrete Base		
•	2	E3-4	GROUP	N.A.	N.A.	0.850	EH19L-96L-560-NW-G2-AR1-3/4-VOLT-DD-SP1-		N.A.
							FINISH, 25ft Pole, 2ft Concrete Base		

Calculation Summary								
Label	СаісТуре	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Site	Illuminance	Fc	0.86	9.5	0.0	N.A.	N.A.	10ft Grid
Under Canopy	Illuminance	Fc	17.80	20.2	15.1	1.18	1.34	3ft Grid
Dumpster Area	Illuminance	Fc	3.90	4.6	3.0	1.30	1.53	10ft Grid
Parking & Drives	Illuminance	Fc	2.74	8.4	0.2	13.70	42.00	10ft Grid
Patio	Illuminance	Fc	6.28	7.2	5.4	1.16	1.33	10ft Grid

GENERAL DISCLAIMER:

Calculations have been performed according to IES standards and good practice Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the

input data, differences will occur between measured values and calculated values.

* LLF Determined Using Current Published Lamp Data

NOTE TO REVIEWER:

Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Depreciation (LLD) from current lamp manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.

For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.

20-30 BEAVER ROAD, WETHERSFIELD, CT 06109 TELEPHONE 860.632.8766 / WWW.APEXLTG.COM

LIGHTING SOLUTIONS

PROJECT TITLE:

CHIPOTLE 55 CRYSTAL AVE DERRY, NH

52....,

DRAWING TITLE:

SITE LIGHTING PHOTOMETRIC CALCULATION

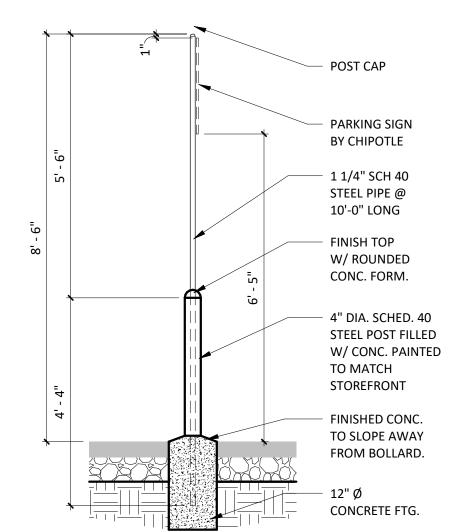
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DRAWN BY: LED/PD

SCALE: 1"=20'-0"

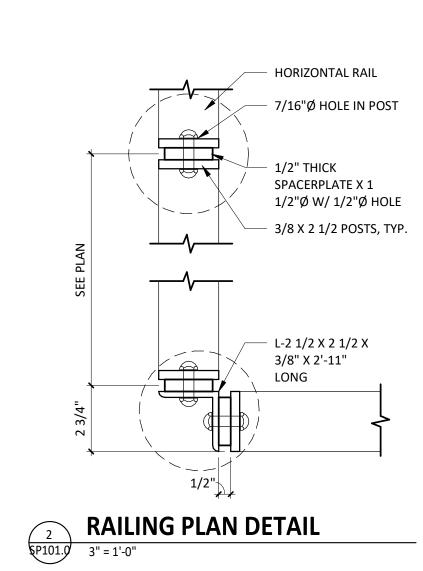
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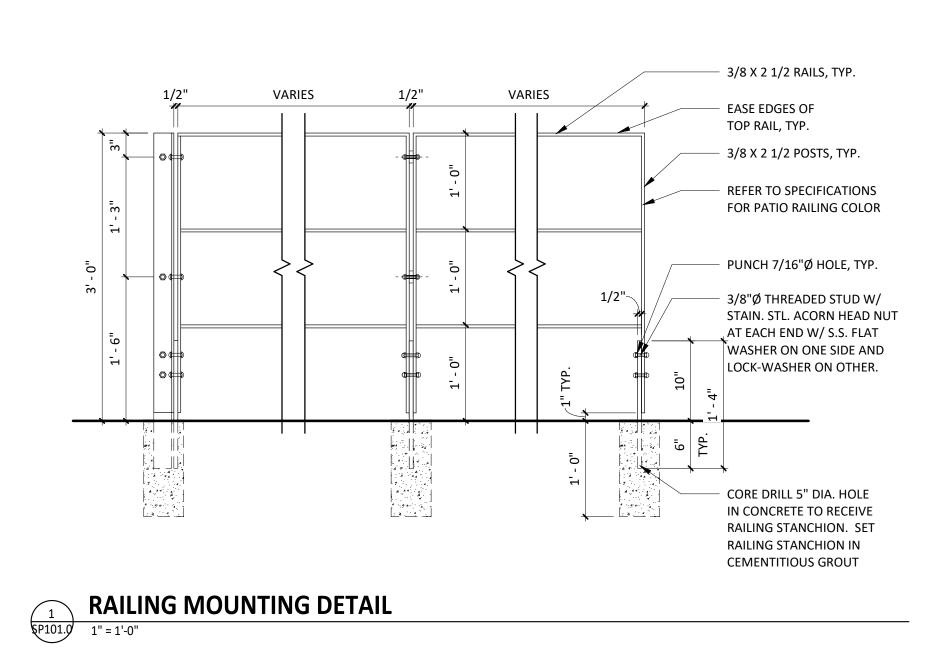
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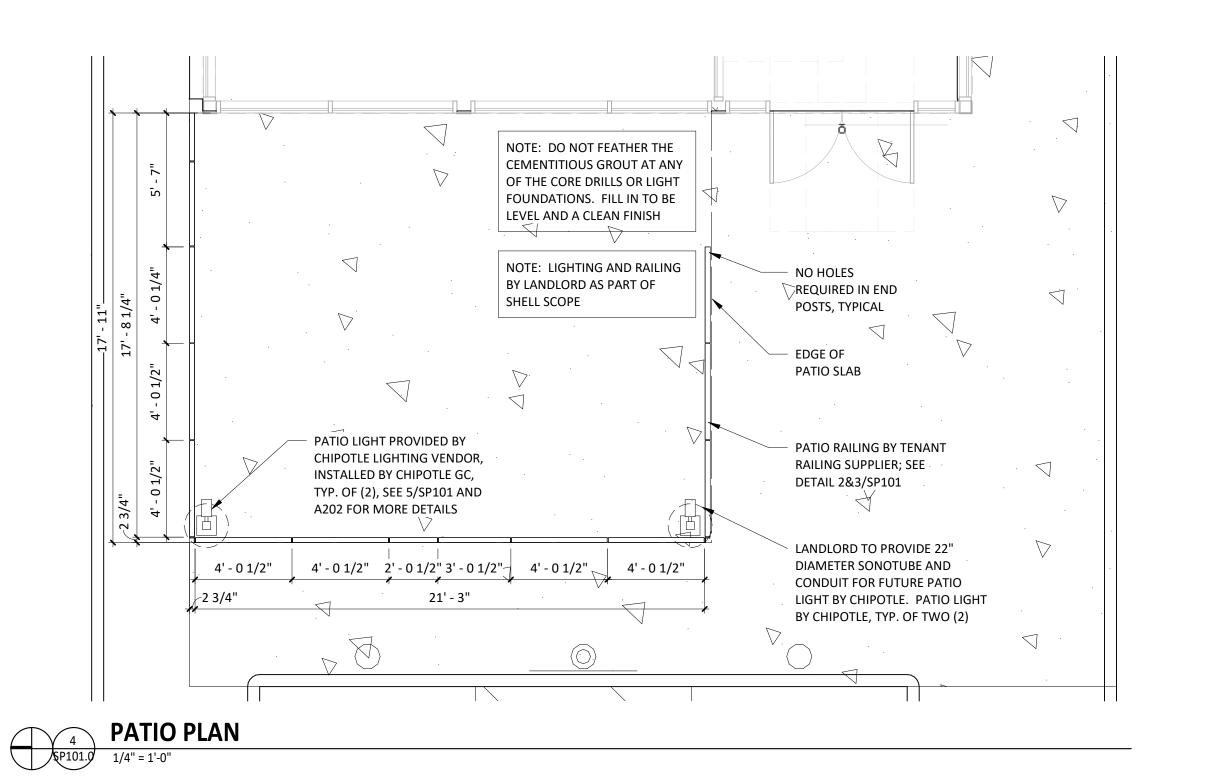


TYP. SIGN POST DETAIL

| 1/2" = 1'-0"







PHONE: B15-369-9155
FAX: B15-369-4495
WWW.LINGLEDESIGN.COM

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AUG. 04, 2022

LINGLEDESIGNGROUP,INC

158 West Main Street Lena, IL 61048

CHECKED BY: CL

CMGXXX

DRAWN BY: EYW

DERRY SHELL TO SUIT -CHIPOTLE MEXICAN GRILL

ADDRESS:

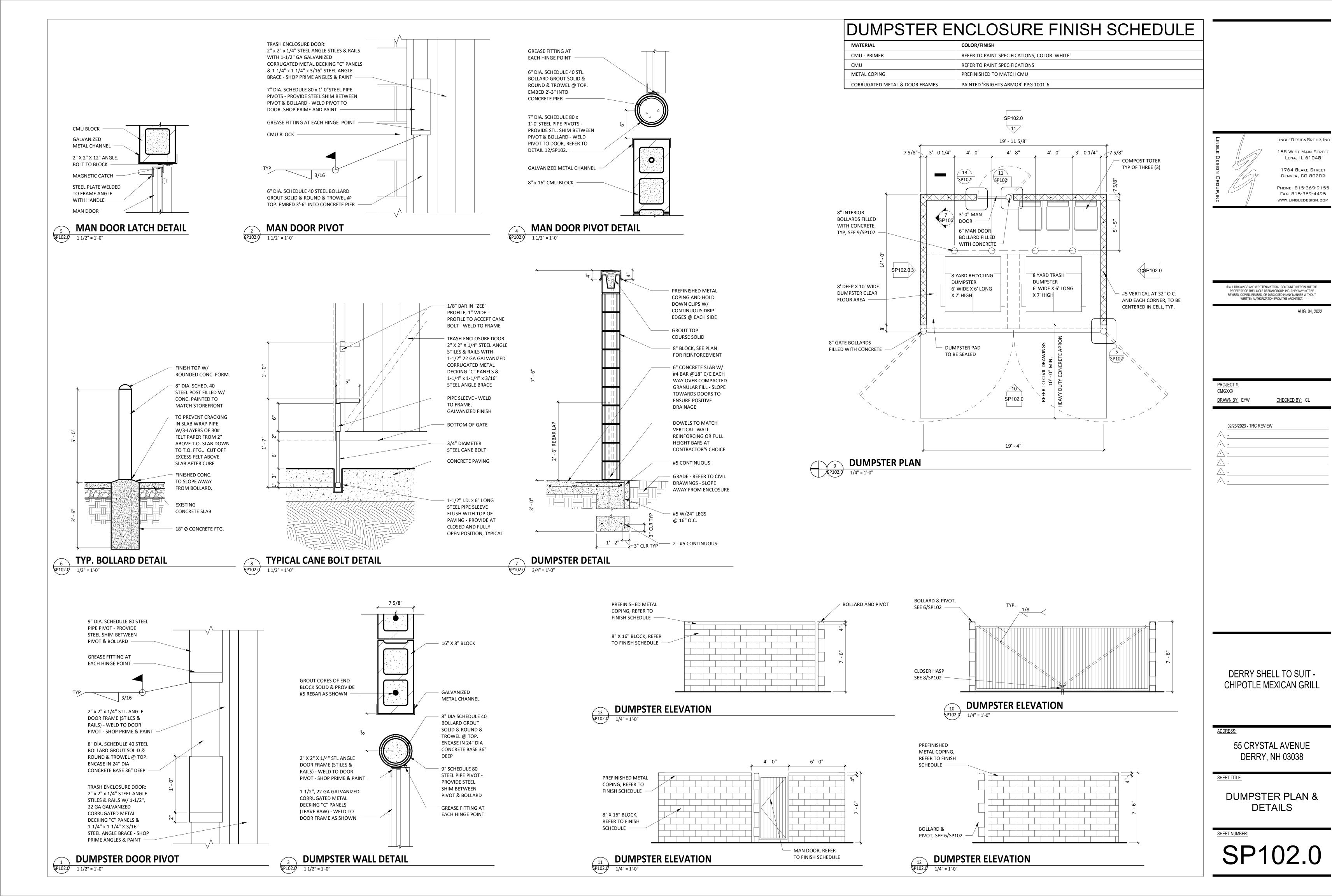
55 CRYSTAL AVENUE DERRY, NH 03038

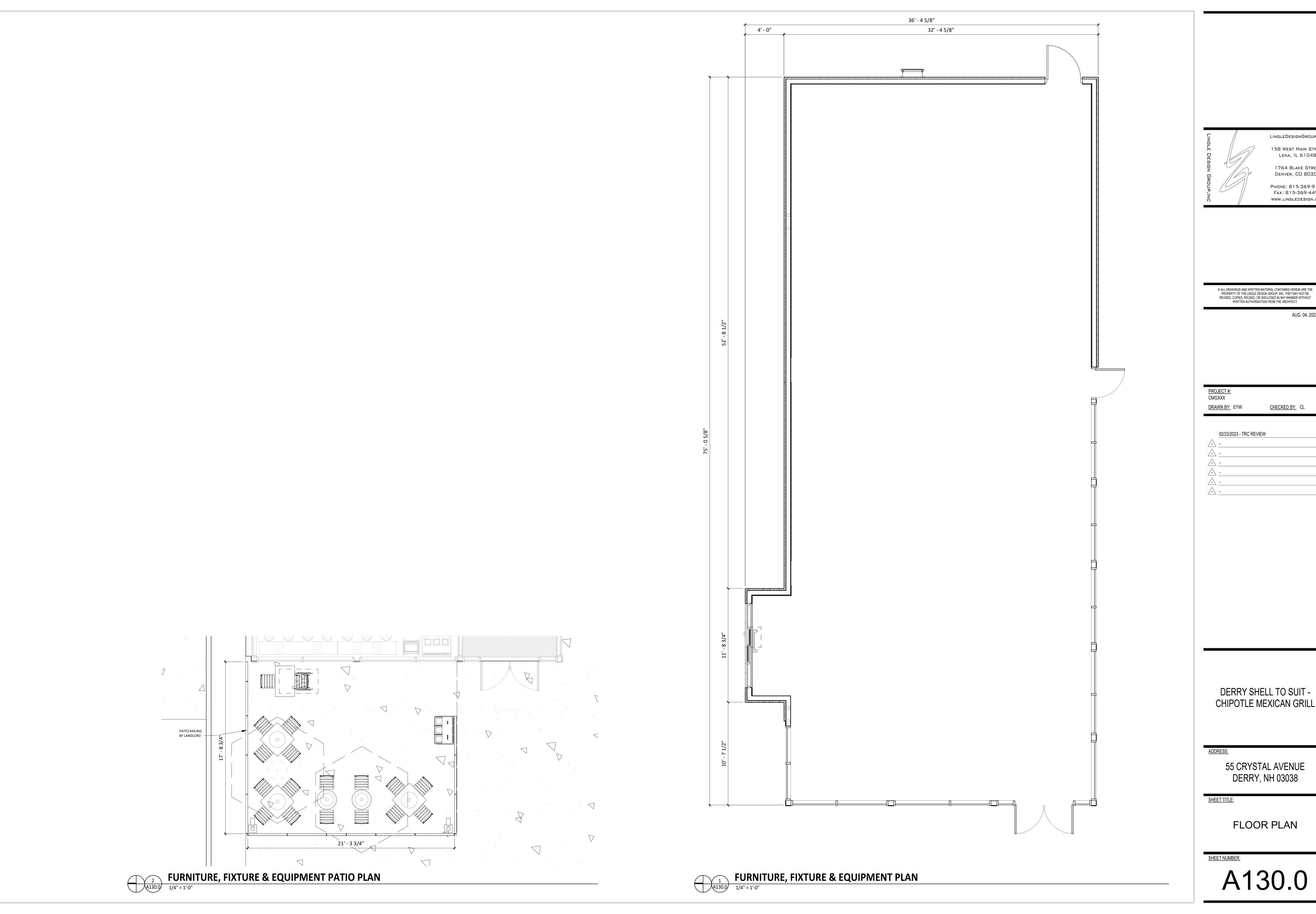
SHEET TITLE:

ARCHITECTURAL SITE DETAILS

SHEET NUMBER:

SP101.0





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4 EXT ELEV - NORTH
A302 1/4" = 1'-0"

LINGLEDESIGNGROUP,INC 158 West Main Street LENA, IL 61048 1764 BLAKE STREET DENVER, CO 80202 PHONE: 815-369-9155 Fax: 815-369-4495 WWW.LINGLEDESIGN.COM

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CHECKED BY: CL

AUG. 04, 2022

DERRY SHELL TO SUIT -CHIPOTLE MEXICAN GRILL

55 BLDG. A CRYSTAL **AVENUE** DERRY, NH 03038

EXTERIOR ELEVATIONS