

**Planning Department, June 21, 2023**

APPLICANT: Hood Commons BSD, LLC

DEVELOPER: Same as above.

PROJECT: Chipotle Restaurant

LOCATION: Parcel ID 36017, 55 Crystal Ave.

PURPOSE: The purpose of this site plan is for a 2,466 square foot Chipotle Restaurant with a pick-up window/lane located at the entrance of Hood Plaza in the General Commercial District.

TOWN DEPARTMENT SIGNATURES: All town departments have reviewed and signed the plan.

WAIVERS: See letter dated May 23, 2023, from VHB Engineering.

LDCR-Section 170-29.K-minimum pipe size-storm drainage

LDCR-Section 170-63.4.j.-parking density

LDCR-Section 170-67.B.1-solid waste storage

STATE PERMITS: NA.

RECOMMENDATION: Staff would recommend approval of both the waiver requests and site plan application.

BY:



George H. Sioras, Planning Director



# Site Plans

Issued for      TRC Review  
Date Issued     February 23, 2023  
Latest Issue     May 19, 2023

## Proposed Chipotle

55 Crystal Avenue  
Derry, New Hampshire

RECEIVED  
MAY 19 2023  
Derry Planning Department

vhb.com



2 Bedford Farms Drive  
Suite 200  
Bedford, NH 03110  
603.391.3900

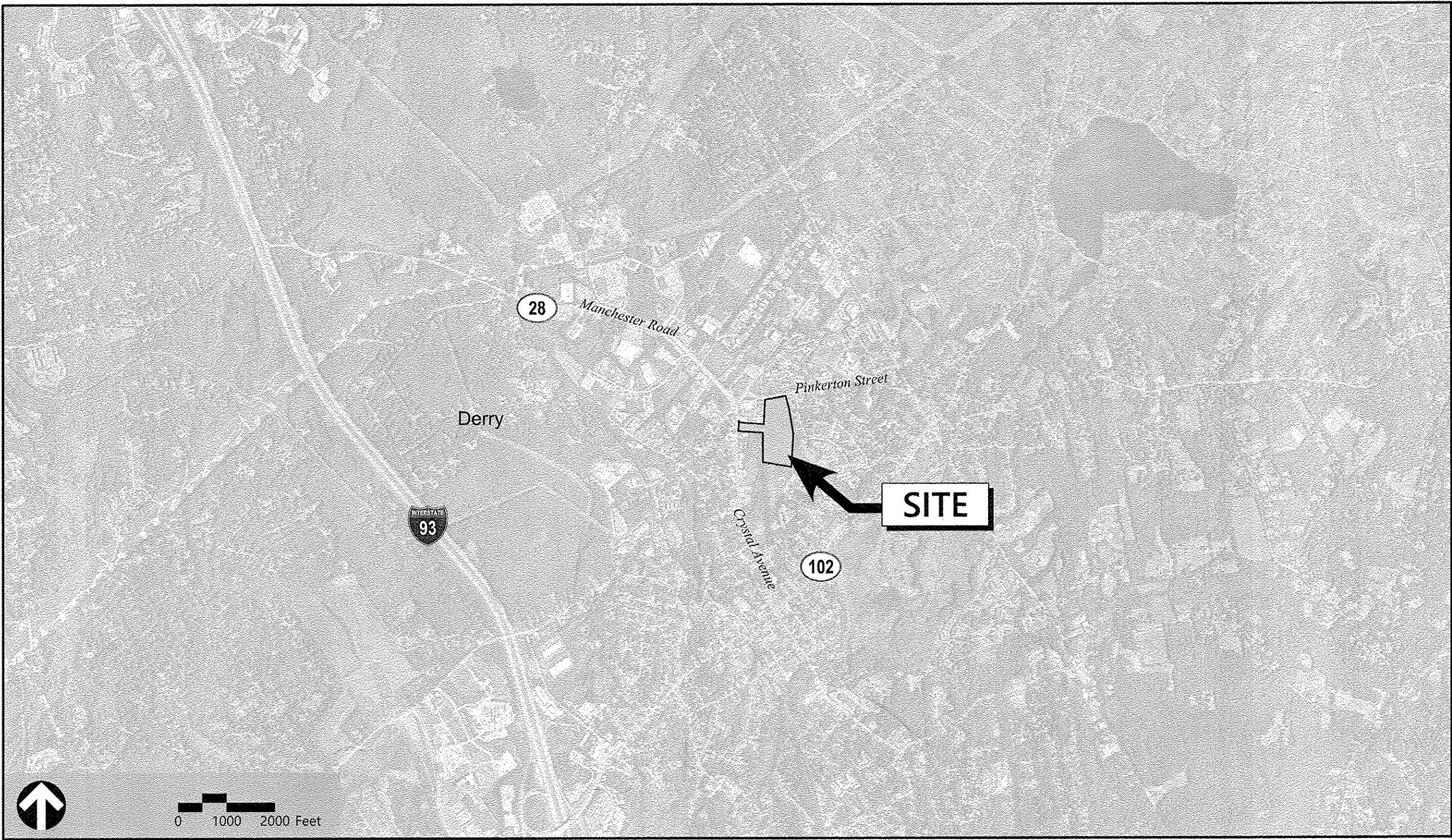
Architect

Lingle Design Group Inc.,  
158 W Main St  
#9247  
Lena, IL 61048  
Phone Number

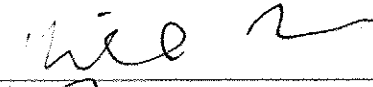




Owner/Applicant

Hood Commons BSD LLC  
c/o Madison Properties  
3611 14th Avenue  
Suite 420  
Brooklyn, NY 11218

Assessor's Map: 36  
Lot: 017

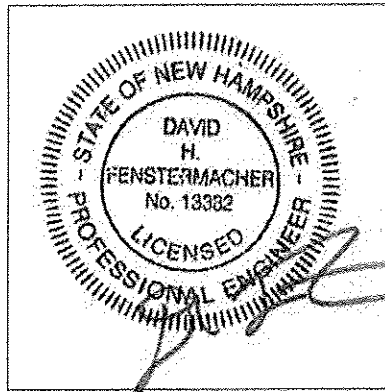


Sheet Index			Reference Drawings		
No.	Drawing Title	Latest Issue	No.	Drawing Title	Latest Issue
C1.01	Legend and General Notes	May 19, 2023	Sv-1	Existing Conditions Plan of Land	April 7, 2023
C2.01	Overall Site Plan	May 19, 2023	SL-1A	Site Lighting Photometric Calculations	March 10, 2023
C3.01	Layout and Materials Plan	May 19, 2023	SP101.0	Architectural Site Details	February 23, 2023
C4.01	Grading and Drainage Plan	May 19, 2023	SP102.0	Dumpster Plan & Details	February 23, 2023
C5.01	Utility Plan	May 19, 2023	A130.0	Floor Plan	February 23, 2023
C6.01	Erosion and Sediment Control Plan	May 19, 2023	A302	Exterior Elevations	April 7, 2023
C7.01-7.04	Site Details	May 19, 2023			
C8.01	Snow Storage Plan	May 19, 2023			
L1.00	Planting Plan	May 19, 2023			
L2.00	Landscaping Details	May 19, 2023			

TOWN OF DERRY SIGNATURE BLOCK	
	DATE: 5/22/23
PUBLIC WORKS DIRECTOR:	
	DATE: 5/23/23
CODE ENFORCEMENT OFFICER:	
	DATE: 5/23/23
FIRE DEPARTMENT:	
	DATE: 5/23/23
CONSERVATION COMMISSION CHAIR:	
	DATE: 5/22/23
POLICE DEPARTMENT:	

APPROVED BY THE DERRY, NH PLANNING BOARD ON:	
CERTIFIED BY:	
CHAIRMAN:	
SECRETARY:	

THIS PLAN SET CONTAINS A TOTAL OF 19 SHEETS. THE FULL SET OF PROJECT  
PLANS IS ON FILE AT THE DERRY PLANNING DEPT.





Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK	27.35 TC x	27.35 TC x	TOP OF CURB ELEVATION
		BASELINE	26.85 BC x	26.85 BC x	BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT	132.75 x	132.75 x	SPOT ELEVATION
		ZONING LINE	45.0 TW x	45.0 TW x	TOP & BOTTOM OF WALL ELEVATION
		TOWN LINE	38.5 BW x	38.5 BW x	
		LIMIT OF DISTURBANCE			BORING LOCATION
		WETLAND LINE WITH FLAG			TEST PIT LOCATION
		FLOODPLAIN			MONITORING WELL
		BORDERING LAND SUBJECT TO FLOODING			UNDERDRAIN
		WETLAND BUFFER ZONE			DRAIN
		NO DISTURB ZONE			ROOF DRAIN
		200' RIVERFRONT AREA			SEWER
					FORCE MAIN
					OVERHEAD WIRE
		GRAVEL ROAD			WATER
		EDGE OF PAVEMENT			FIRE PROTECTION
		BITUMINOUS BERM			DOMESTIC WATER
		BITUMINOUS CURB			GAS
		CONCRETE CURB			ELECTRIC
		CURB AND GUTTER			STEAM
		EXTRUDED CONCRETE CURB			TELEPHONE
		MONOLITHIC CONCRETE CURB			FIRE ALARM
		PRECAST CONC. CURB			CABLE TV
		SLOPED GRAN. EDGING			CATCH BASIN CONCENTRIC
		VERT. GRAN. CURB			CATCH BASIN ECCENTRIC
		LIMIT OF CURB TYPE			DOUBLE CATCH BASIN CONCENTRIC
		SAWCUT			DOUBLE CATCH BASIN ECCENTRIC
		BUILDING			GUTTER INLET
		BUILDING ENTRANCE			DRAIN MANHOLE CONCENTRIC
		LOADING DOCK			DRAIN MANHOLE ECCENTRIC
		BOLLARD			TRENCH DRAIN
		DUMPSTER PAD			PLUG OR CAP
		SIGN			CLEANOUT
		DOUBLE SIGN			FLARED END SECTION
					HEADWALL
		STEEL GUARDRAIL			SEWER MANHOLE CONCENTRIC
		WOOD GUARDRAIL			SEWER MANHOLE ECCENTRIC
					CURB STOP & BOX
					WATER VALVE & BOX
					TAPPING SLEEVE, VALVE & BOX
					FIRE DEPARTMENT CONNECTION
					FIRE HYDRANT
					WATER METER
					POST INDICATOR VALVE
					WATER WELL
					GAS GATE
					GAS METER
					ELECTRIC MANHOLE
					ELECTRIC METER
					LIGHT POLE
					TELEPHONE MANHOLE
					TRANSFORMER PAD
					UTILITY POLE
					GUY POLE
					GUY WIRE & ANCHOR
					HAND HOLE
					PULL BOX
					MATCHLINE

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GrD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

- General
1.

THE PURPOSE OF THESE SITE PLANS ARE TO SUPPORT THE PERMITTING DOCUMENTS FOR THE PROJECT.

2.

CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.

3.

CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.

4.

ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

5.

AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.

6.

WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.

7.

WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

8.

UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.

9.

TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

10.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

11.

IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.

12.

CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.

13.

DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

14.

CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

15.

THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.
- Utilities
1.

THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION. AS SHOWN ON THE PLANS, THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.

2.

WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.

3.

SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.

4.

RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:

A. PAVEMENTS AND CONCRETE SURFACES: FLUSH

B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH

C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.

5.

THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.

6.

CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.

7.

UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:

A. WATER PIPES SHALL BE HDPE CTS 250PSI PIPE AND COMPLY WITH REGULATIONS AND STANDARDS OF THE DERRY, NH WATER DEPARTMENT.

B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE

C. STORM DRAINAGE PIPES SHALL BE SMOOTH INTERIOR DUAL WALL HIGH DENSITY POLYETHYLENE (HDPE)

D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.

8.

CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.

9.

CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.

10.

ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

1.

DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.

2.

CURB RADII ARE THREE FEET UNLESS OTHERWISE NOTED.

3.

CURBING SHALL BE VERTICAL GRANITE CURB WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.

4.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.

5.

PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.

6.

PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

1.

CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.

2.

EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.

3.

CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

4.

THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.

5.

UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

1.

PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.

2.

CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.

3.

CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.

4.

CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.

5.

UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

1.

BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC. IN APRIL 2022 AND FEBRUARY 2023/

A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY VHB, INC.

B. FLAGS MARKING THE WETLANDS WERE LOCATED BY: SENIOR ENVIRONMENTAL SCIENTIST, KRIS WILKES (NH CWS #288) ON FEBRUARY 17, 2022.

2.

TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD OF 1988.

3.

GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM A REPORT TITLE "EXPLORATIONS AND PRELIMINARY GEOTECHNICAL ENGINEERING SERVICES" PUBLISHED BY S.W. COLE ON MARCH 17, 2022.

Document Use

1.

THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.

2.

CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

3.

SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THE ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

2 Bedford Farms Drive

Suite 200

Bedford, NH 03110

603.391.3900

Proposed Chipotle

No.	Revision	Date	Appvd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by	SJF	Checked by	DHF
Issued for		Date	

TRC Review February 23, 2023

Not Approved for Construction

Drawing Title

Legend and General Notes

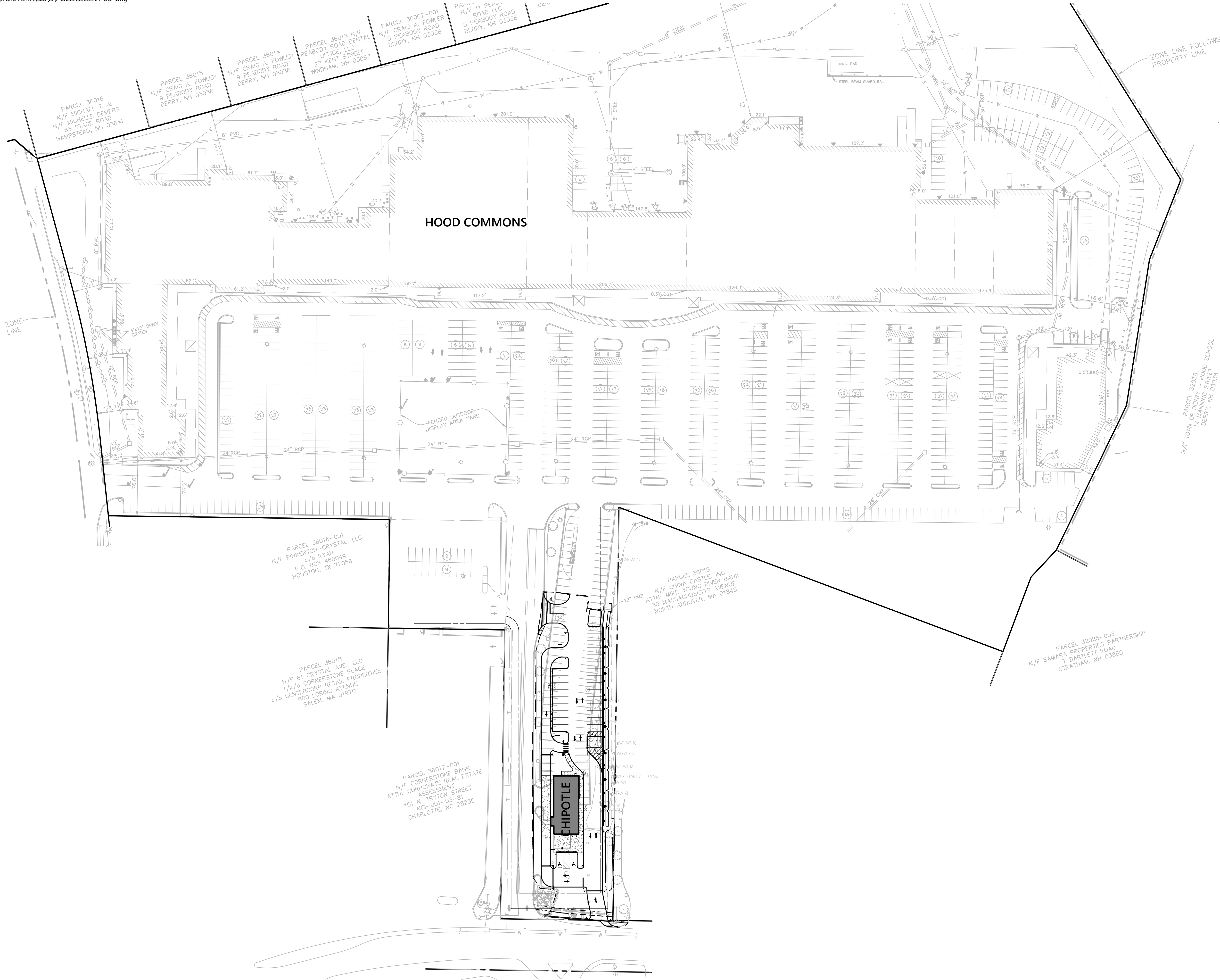
C1.01

Sheet 1 of 13

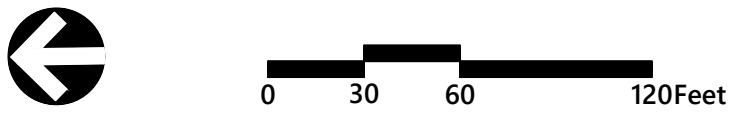
Project Number 52869.01

Saved Wednesday, April 5, 2023 5:21:42 PM SFEURCCK Plotted Friday, May 19, 2023 1:13:01 PM Steven Fleurock





**vhb**  
2 Bedford Farms Drive  
Suite 200  
Bedford, NH 03110  
603.391.3900



**Proposed Chipotle**  
55 Crystal Ave  
Derry, NH 03038

No.	Revision	Date	Appr'd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by	SJF	Checked by	DHF
Issued for		Date	

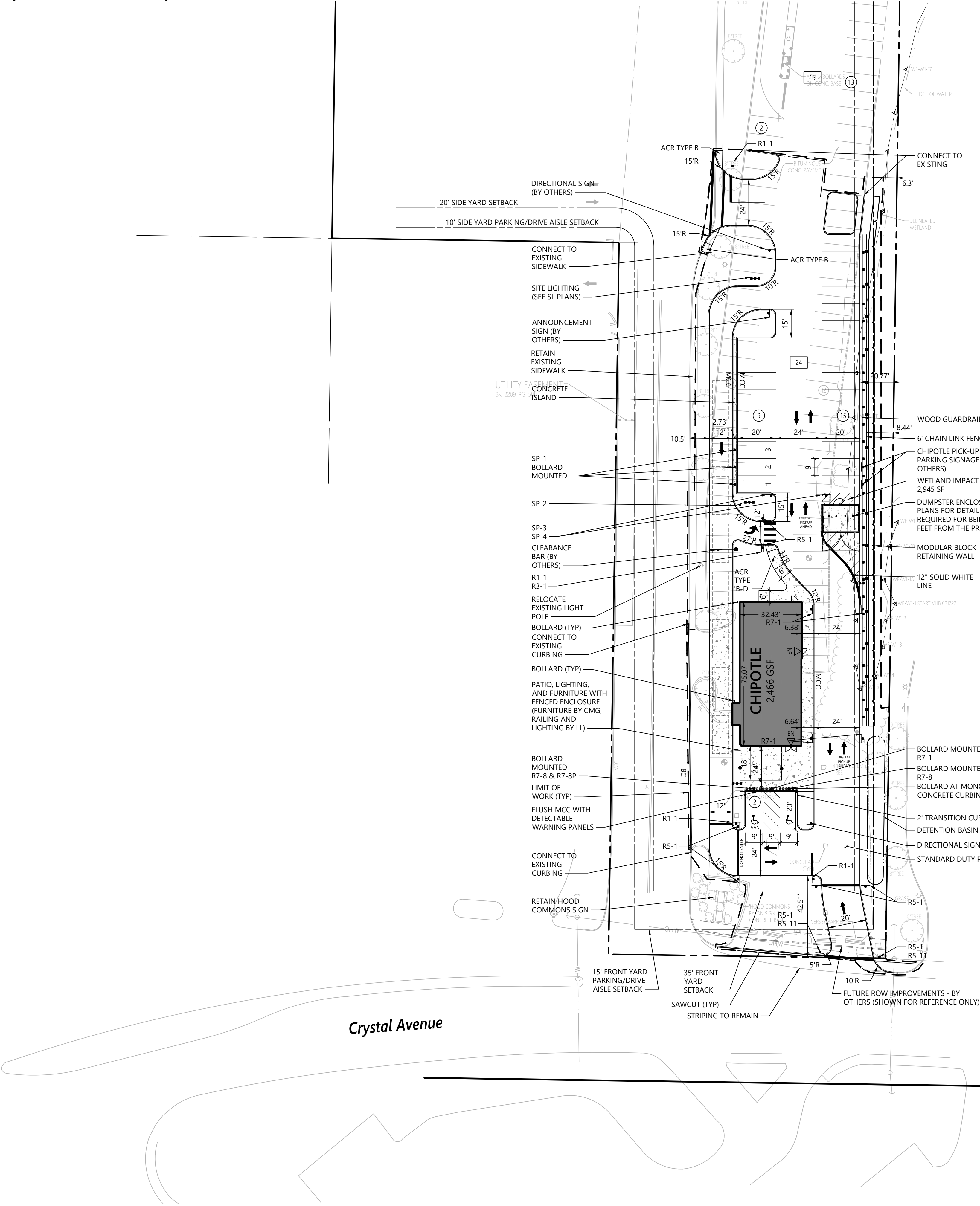
**TRC Review** **February 23, 2023**

**Not Approved for Construction**  
**Overall Site Plan**

**C2.01**  
Sheet 2 of 13  
Project Number 52869.01

DAVID H. FENSTERMACHER  
No. 13382  
LICENSED PROFESSIONAL ENGINEER





Sign Summary

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	STOP
R3-1	24"	24"	NO RIGHT TURN
R5-1	30"	30"	DO NOT ENTER
R5-11	30"	24"	AUTHORIZED VEHICLES ONLY
R7-1	12"	18"	NO PARKING ANY TIME
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	VAN ACCESSIBLE
W11-2	30"	30"	PEDESTRIAN CROSSING
W16-7P	24"	12"	LEFT TURN YIELD ON GREEN
SP-1*	12"	18"	ORDER PICK UP PARKING ONLY
SP-2*	12"	18"	PICK UP LANE EMERGENCY EXIST
SP-3	12"	18"	ACCESSIBLE PARKING AHEAD ONLY
SP-4	12"	18"	NO EXIT TO CRYSTAL AVENUE

\* BY OTHERS

Parking Requirements:

RESTAURANT	2,466 SF	x	1 SPACES	/	60 SF	=	41 SPACES
	8 EMP	x	1 SPACES	/	1 EMP	=	8 SPACES
TOTAL PARKING REQUIRED				= 49 SPACES			

\* 40 INTERIOR SEATS AND 20 EXTERIOR SEATS

Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9 x 20	9 x 20	47	24
STANDARD ACCESSIBLE SPACES *	9 x 20	9 x 20	1	1
VAN ACCESSIBLE SPACES*	9 x 20	9 x 20	1	1
TOTAL SPACES			49	26**
STACKING SPACES	-	-	6	8

\* ADA/STATE/LOCAL REQUIREMENTS

\*\* WAIVER REQUESTED

Zoning Summary Chart

Zoning District(S):	General Commercial	
Overlay District(S):	Wetland Conservation District	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	30,000 SF	23.3 Acres
FRONTAGE	125.0 Feet	144.8 Feet
FRONT YARD SETBACK	35 Feet	96 Feet
SIDE YARD SETBACK	20 Feet	51.2 Feet
REAR YARD SETBACK	20 Feet	> 20 Feet
FRONT YARD PARKING/DRIVE AISLE SETBACK	15 Feet	34 Feet
SIDE YARD PARKING/DRIVE AISLE SETBACK	10 Feet	20.77 Feet
MINIMUM INTERIOR LANDSCAPE AREA	5%	13.9%
WETLAND BUILDING SETBACK	75 Feet	38.6 Feet**

\* Zoning regulation requirements as specified in the Town of Derry Zoning Ordinance dated December 16, 2021, Section 165-32 GC - General Commercial District

\*\*Variance granted by the Town of Derry Zoning Ordinance (Case #22-125 - April 7, 2022)



vhb.com

2 Bedford Farms Drive  
Suite 200  
Bedford, NH 03110  
603.391.3900



Proposed Chipotle

55 Crystal Ave  
Derry, NH 03038

No.	Revision	Date	Apprvd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by	SJF	Checked by	DHF
-------------	-----	------------	-----

Issued for  
TRC Review  
February 23, 2023

Not Approved for Construction

Drawing Title

Layout and Materials Plan



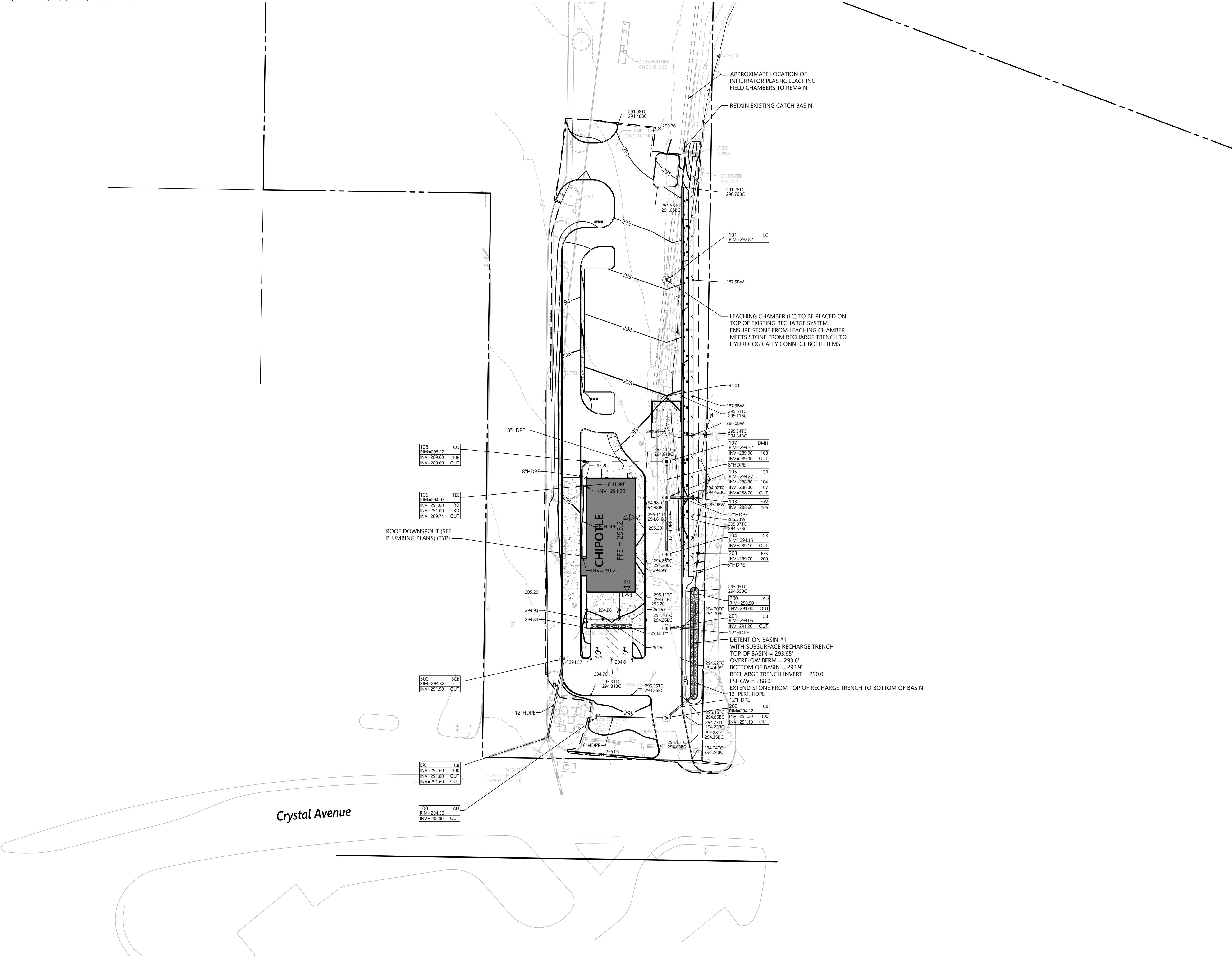
Drawing Number

C3.01

Sheet 3 of 13

Project Number  
52869.01







vhb.com

2 Bedford Farms Drive  
Suite 200  
Bedford, NH 03110  
603.391.3900



Proposed Chipotle

55 Crystal Ave  
Derry, NH 03038

No.	Revision	Date	Appr'd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF


Designed by	SJF	Checked by	DHF
Issued for		Date	

TRC Review February 23, 2023

Not Approved for Construction

Drawing Title

Grading and  
Drainage Plan

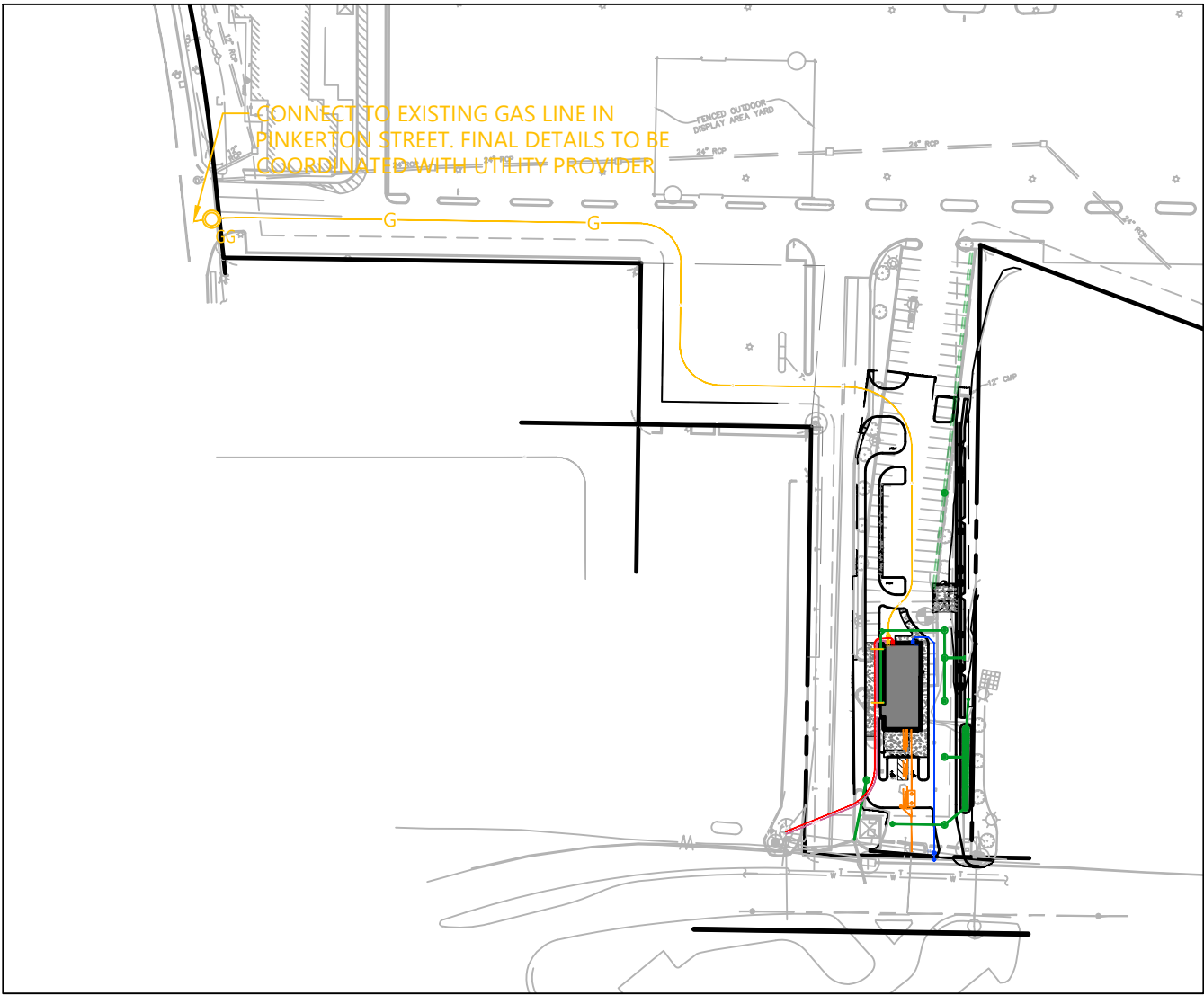


C4.01

Sheet 4 of 13

Project Number  
52869.01





## Proposed Chipotle

55 Crystal Ave  
Derry, NH 03038

No.	Revision	Date	Apprvd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by **SJF** Checked by **DHF**

Issued for **TRC Review** Date **February 23, 2023**

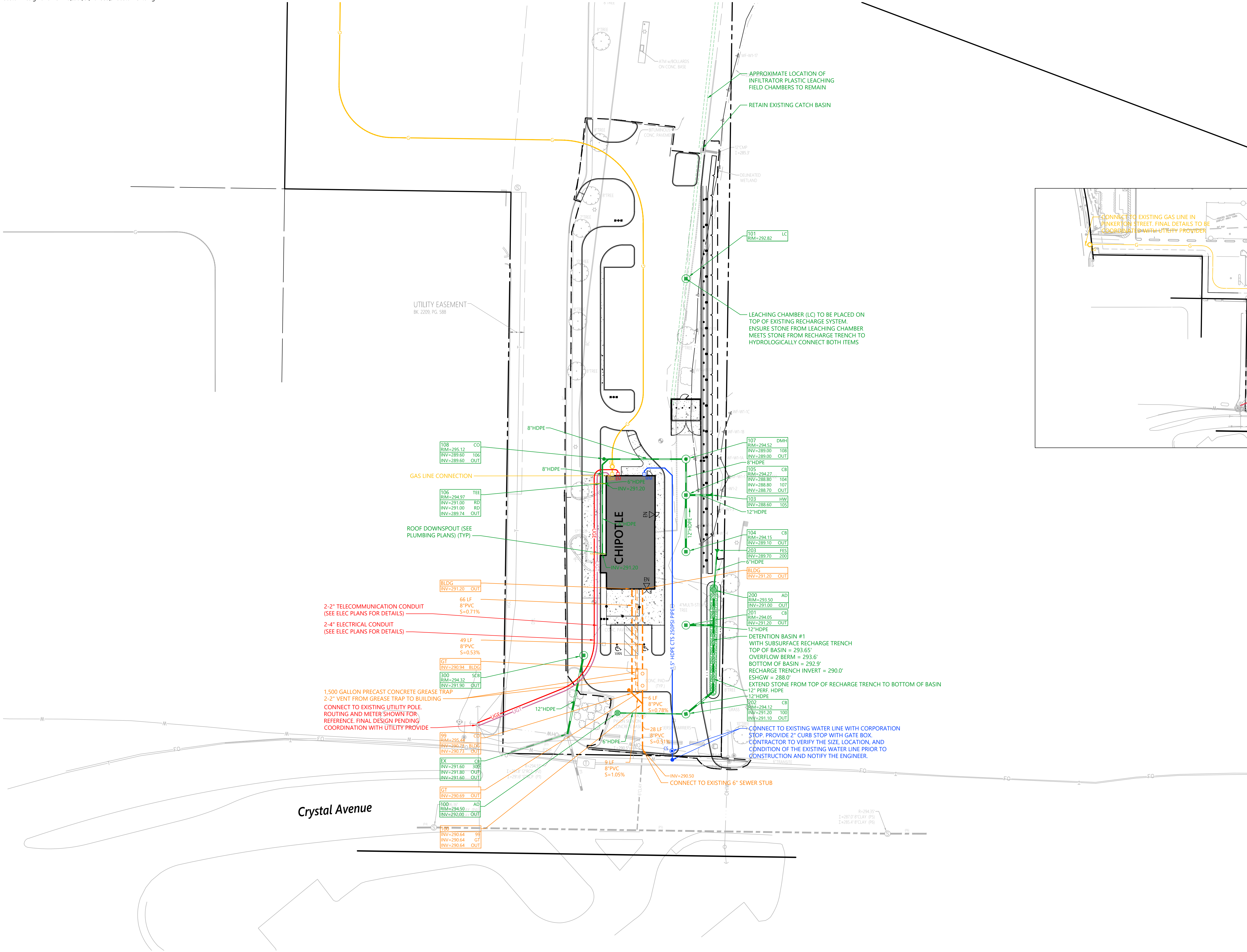
Not Approved for Construction

Drawing Title  
**Utility Plan**

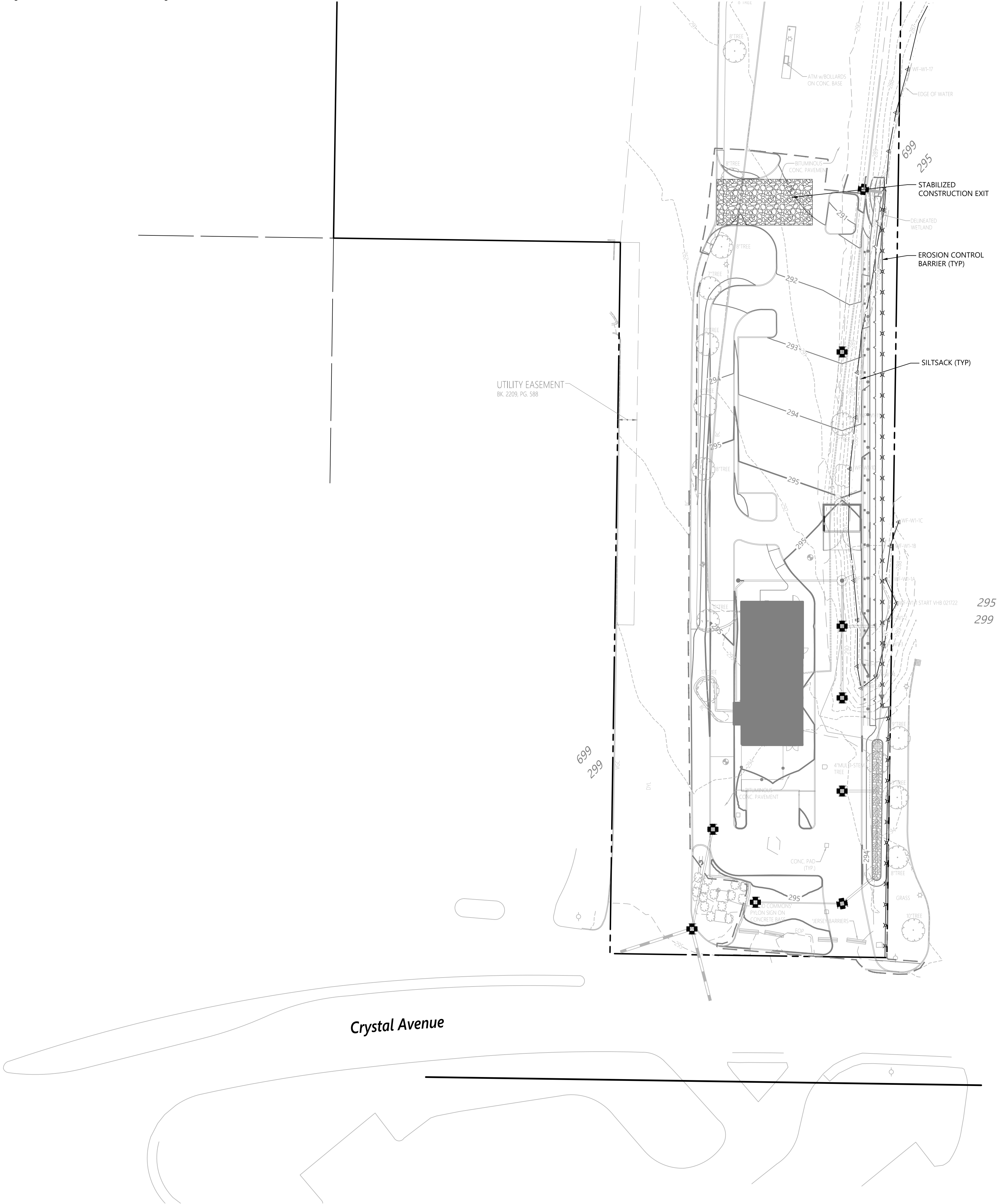
Drawing Number  
**C5.01**

Sheet **5** of **13**

Project Number  
**52869.01**









vhb.com

2 Bedford Farms Drive  
Suite 200  
Bedford, NH 03110  
603.391.3900



### Proposed Chipotle

55 Crystal Ave  
Derry, NH 03038

No.	Revision	Date	Appvd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by  
SJF

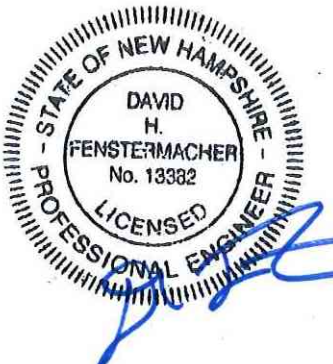
Checked by  
DHF

Issued for  
TRC Review

Date  
February 23, 2023

Not Approved for Construction

Erosion and Sediment Control Plan

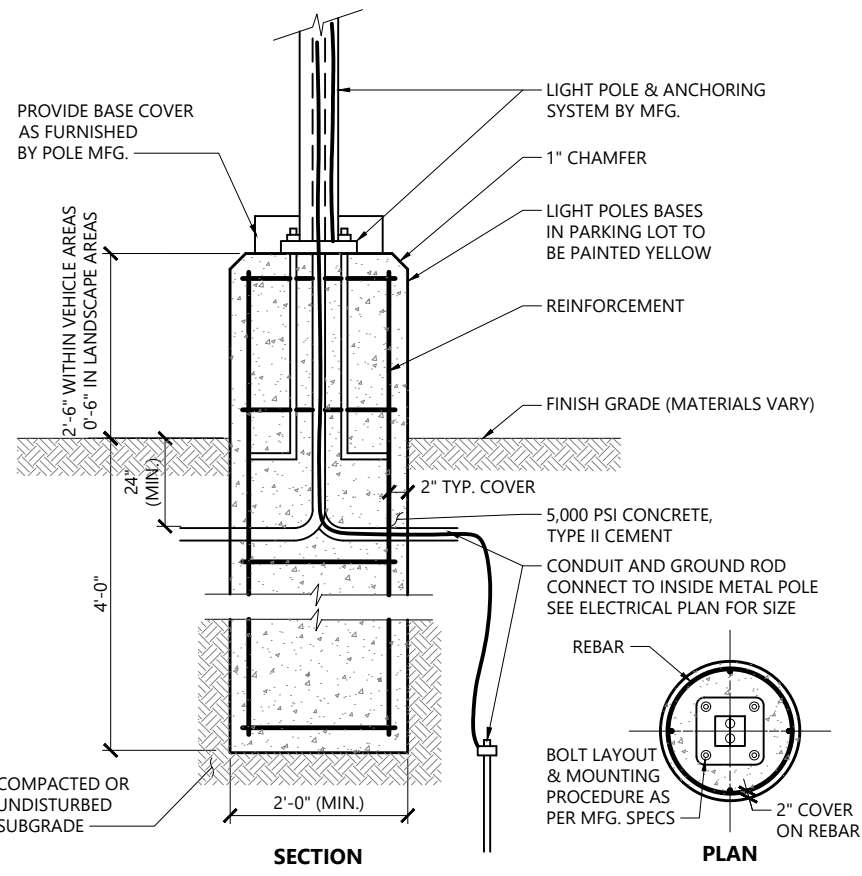


# C6.01

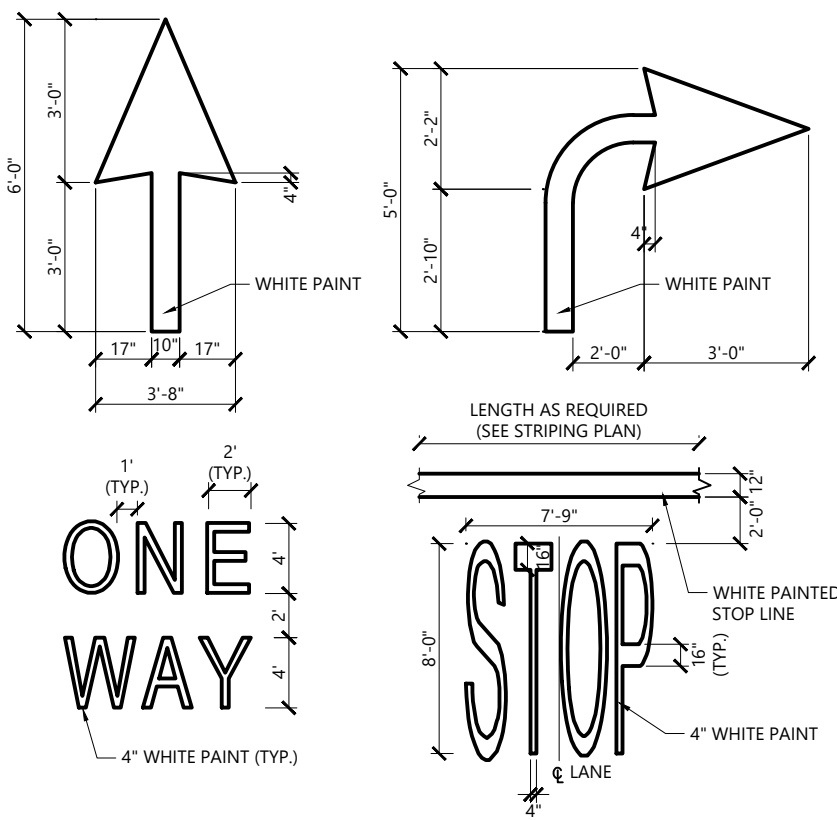
Sheet 6 of 13

Project Number 52869.01

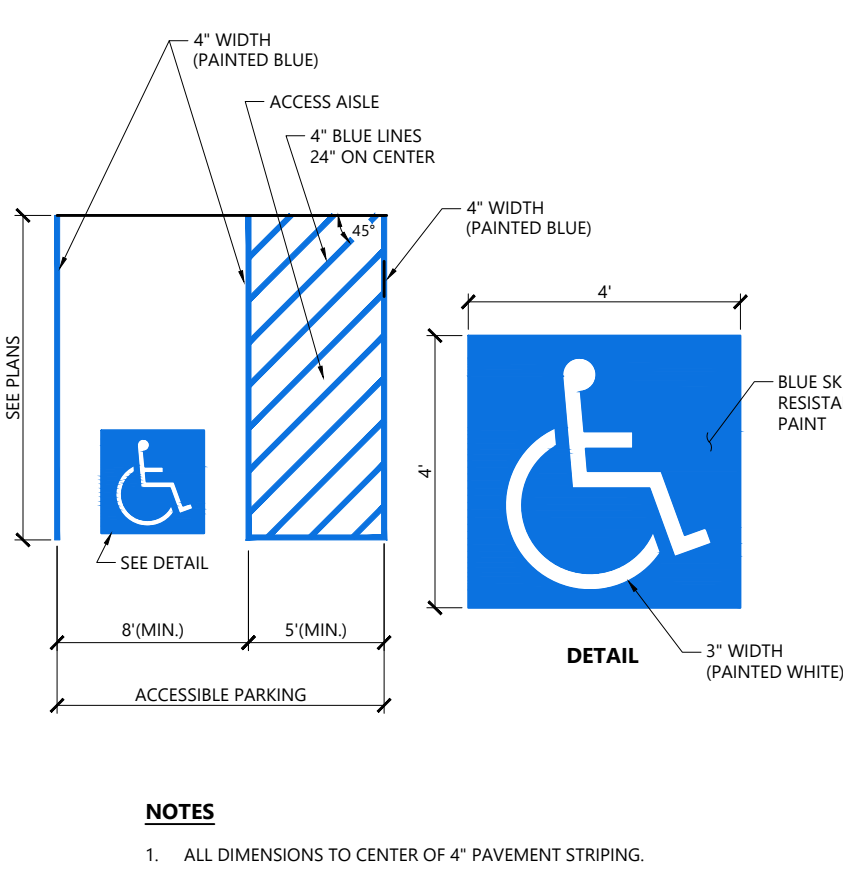




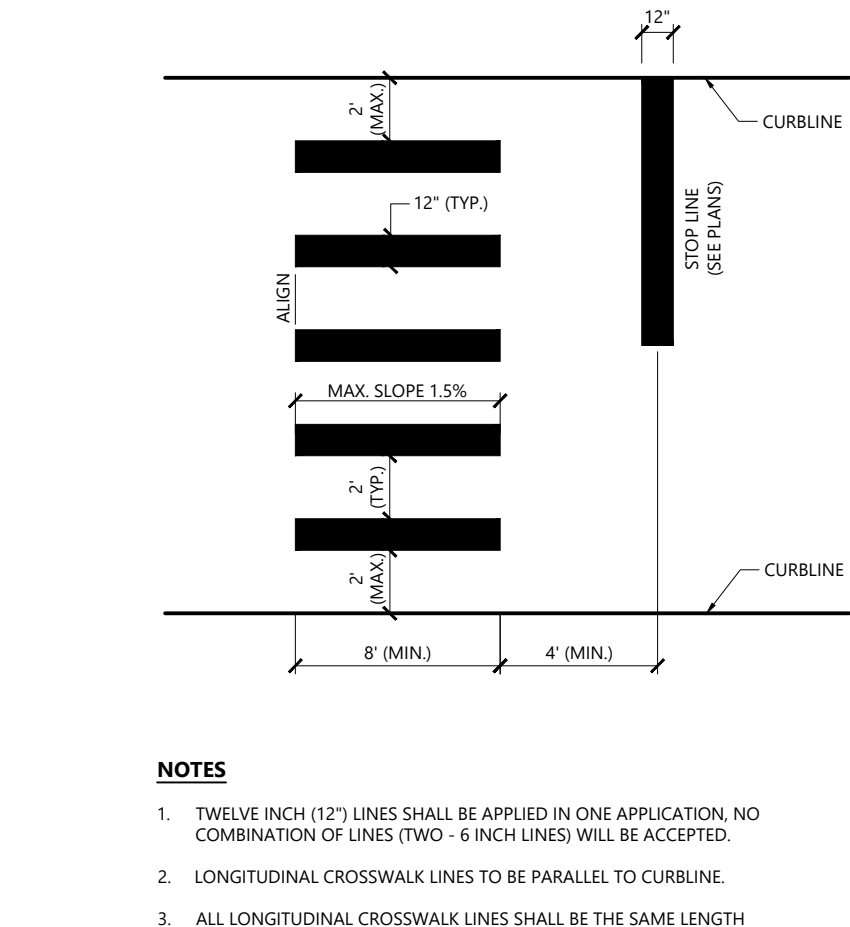
Light Pole Foundation Detail (Up to 15' Pole) 12/19  
N.T.S. Source: VHB LD\_310A



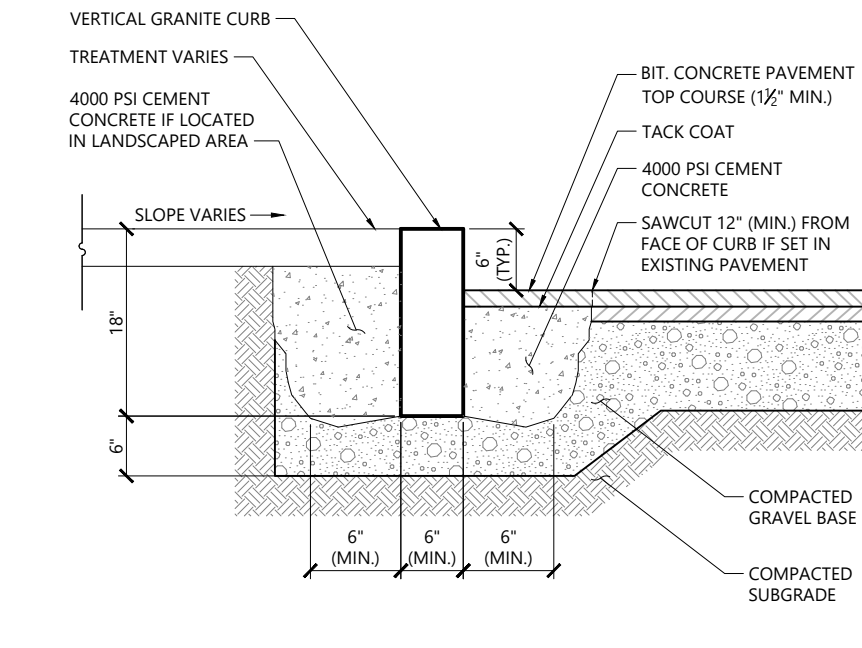
Painted Pavement Markings - On Site 1/16  
N.T.S. Source: VHB LD\_554



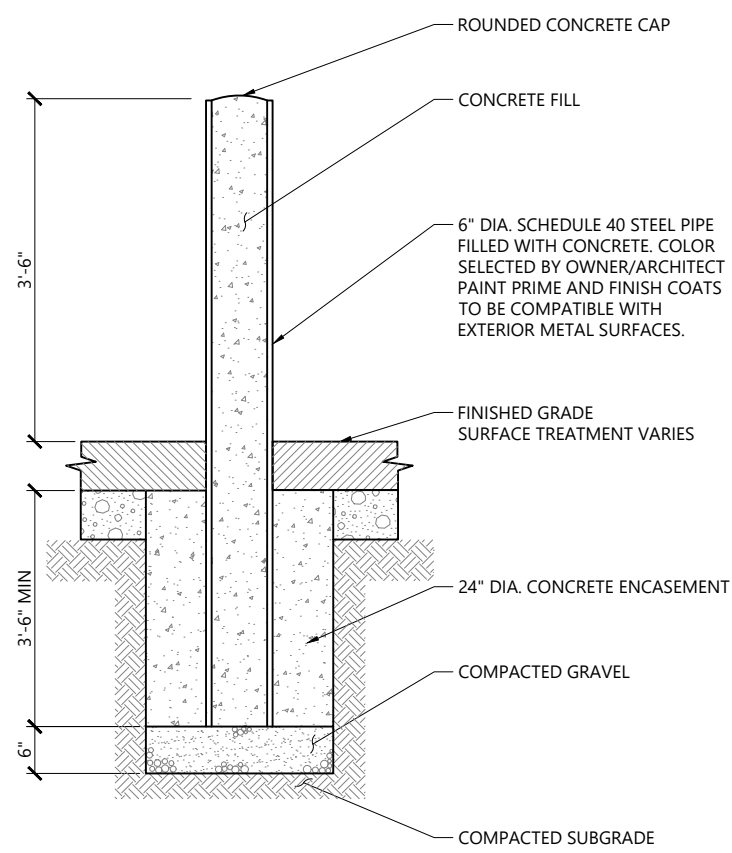
Accessible Parking Space 12/19  
N.T.S. Source: VHB LD\_552A



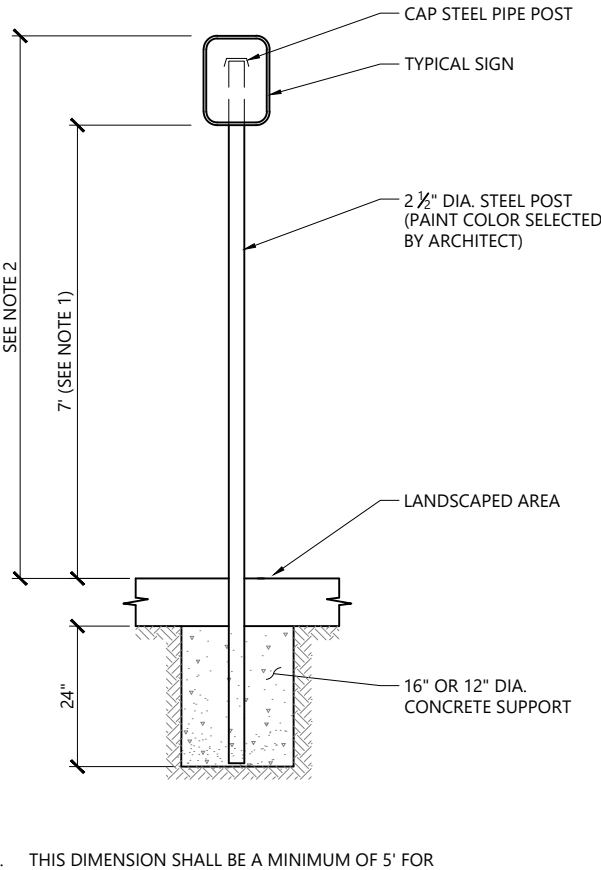
Crosswalk 12/19  
N.T.S. Source: VHB LD\_553A



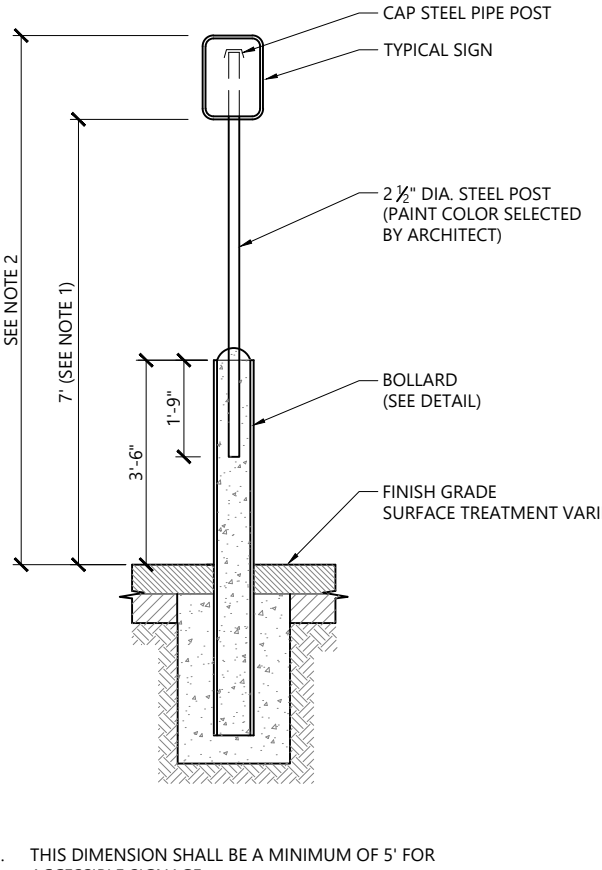
Vertical Granite Curb (VGC) 3/20  
N.T.S. Source: VHB LD\_402



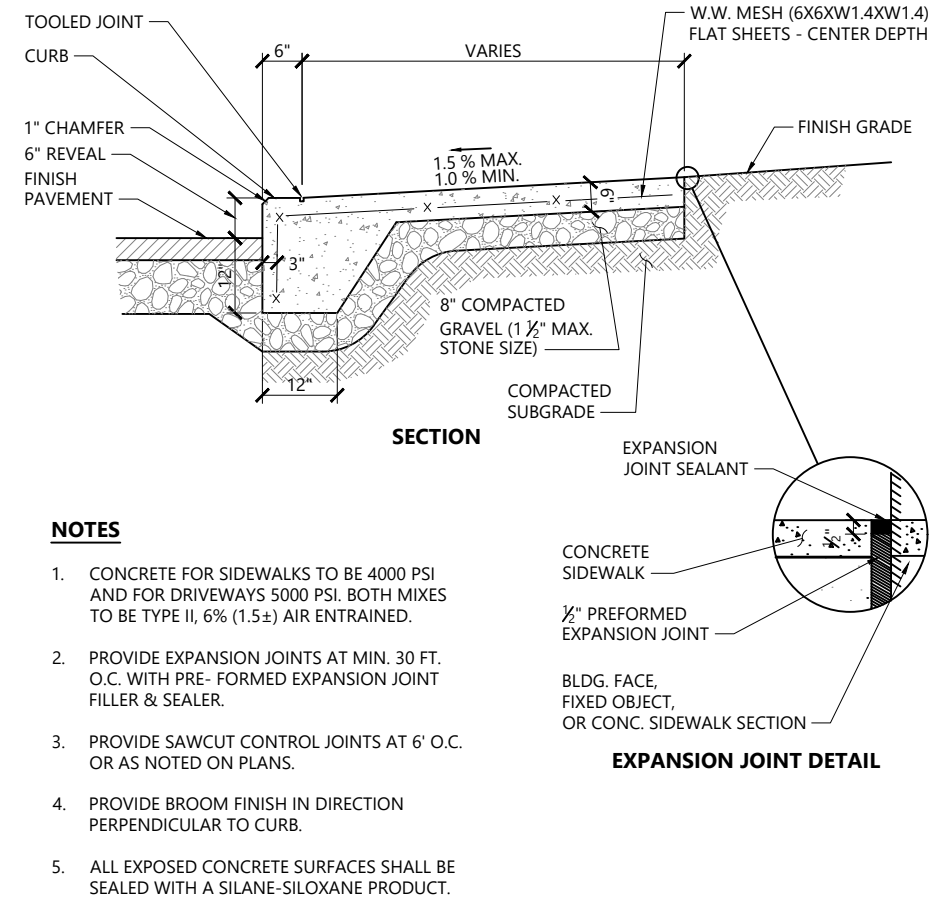
Bollard 12/19  
N.T.S. Source: VHB LD\_700



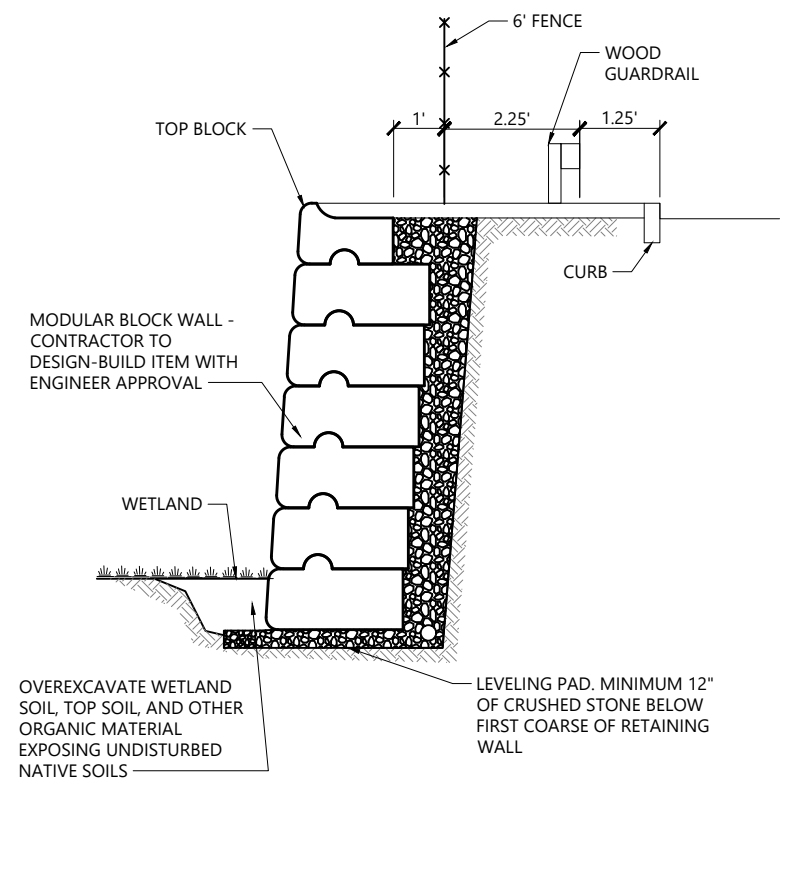
Sign Post - Type 'A' 3/19  
N.T.S. Source: VHB LD\_701



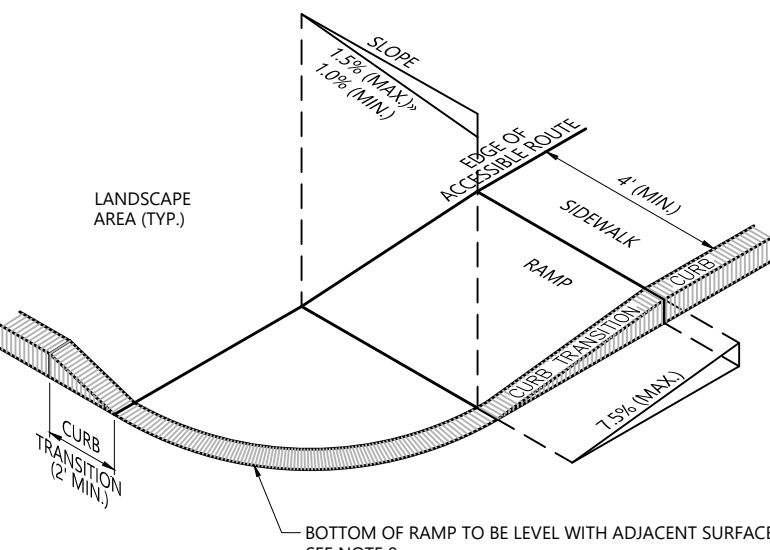
Bollard Mounted Sign 2/20  
N.T.S. Source: VHB LD\_703



Monolithic Concrete Curb (MCC) & Sidewalk 3/20  
N.T.S. Source: VHB LD\_421

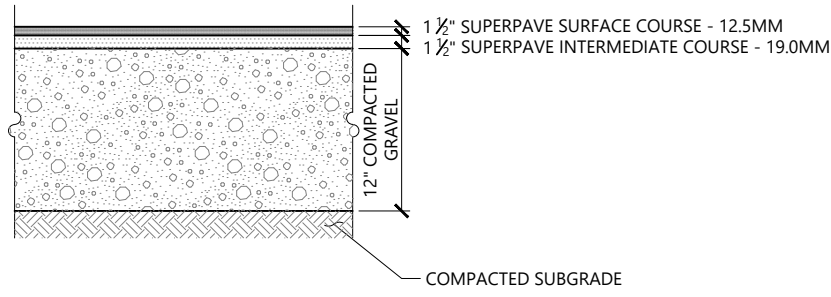


Retaining Wall Cross Section 10/20  
N.T.S. Source: VHB LD\_750



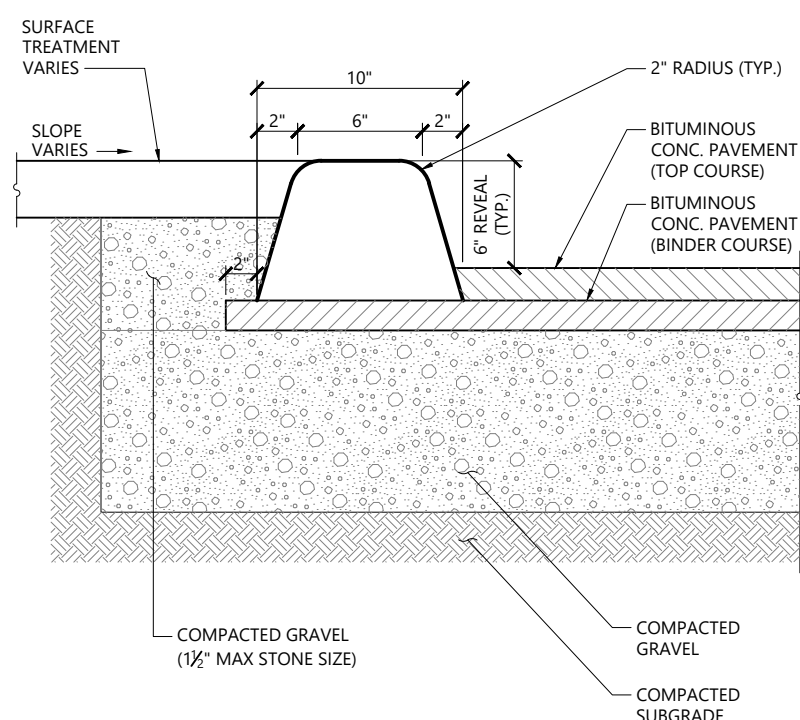
- NOTES
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G., HYDRANT'S, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

Accessible Curb Ramp (ACR) - Type 'B' 12/20  
N.T.S. Source: VHB LD\_501

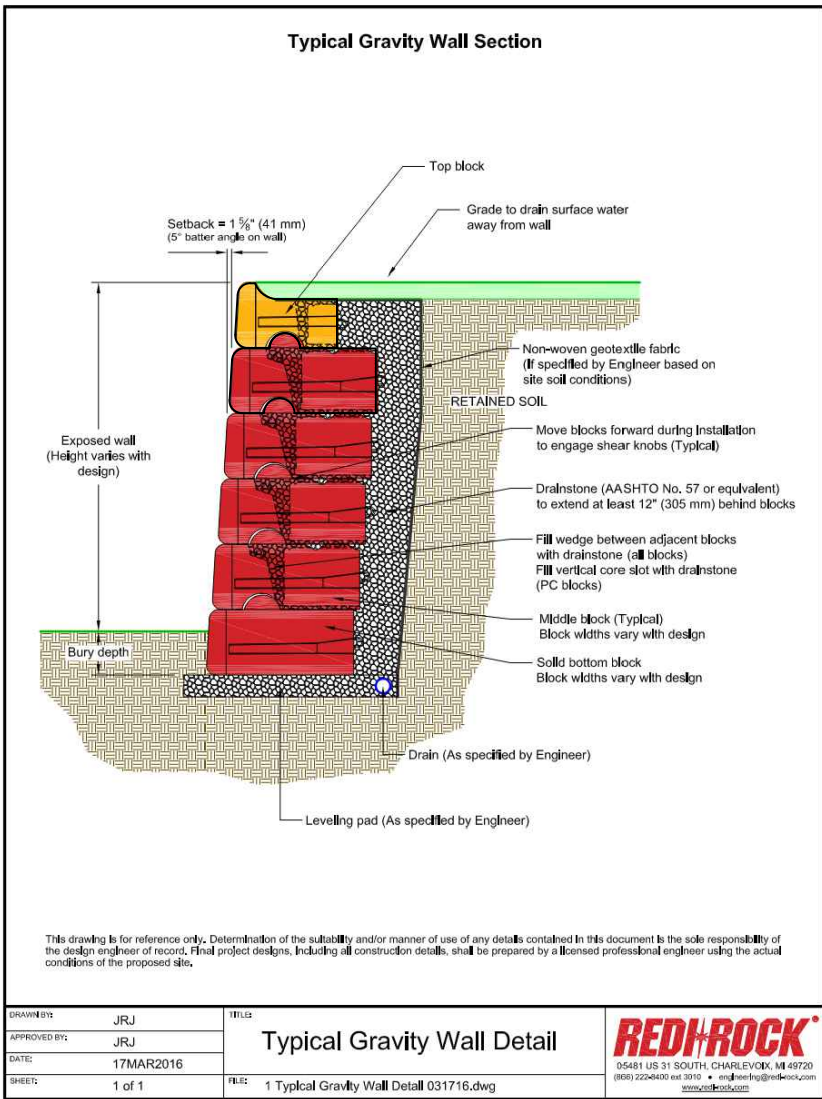


- NOTES
- PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

Bituminous Concrete Pavement Sections 11/19  
N.T.S. Source: VHB LD\_430



Bituminous Curb (BC) 1/16  
N.T.S. Source: VHB LD\_406



Typical Gravity Wall Detail 11/19  
N.T.S. Source: Redi-Rock LD\_406

Modular Retaining Wall 11/19  
N.T.S. Source: Redi-Rock LD\_406

## Proposed Chipotle

55 Crystal Ave  
Derry, NH 03038

No.	Revision	Date	Appr'd
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

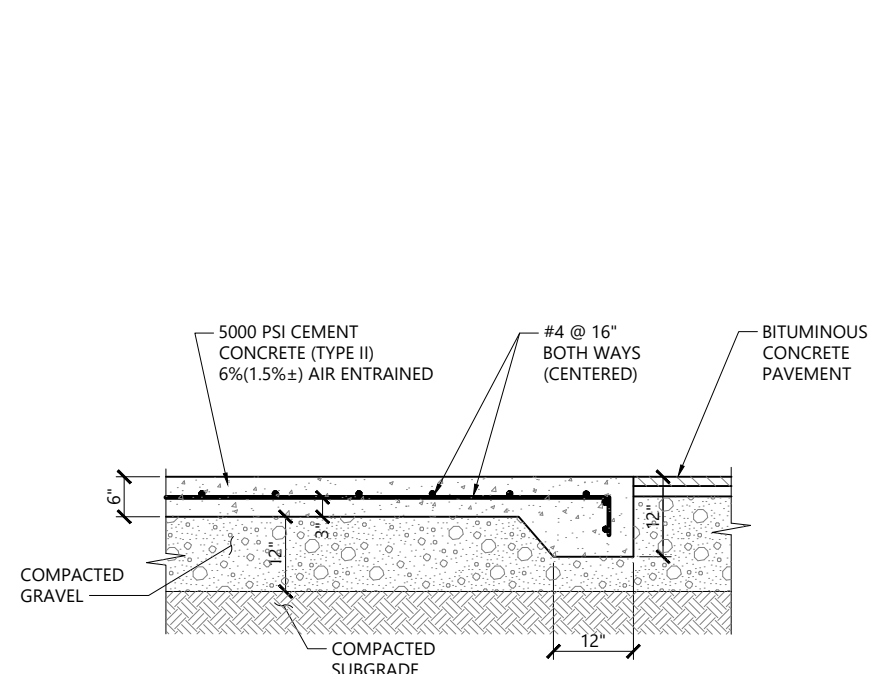
Designed by	SJF	Checked by	DHF
-------------	-----	------------	-----

Issued for  
TRC Review  
Date  
February 23, 2023

Not Approved for Construction

Site Details 1



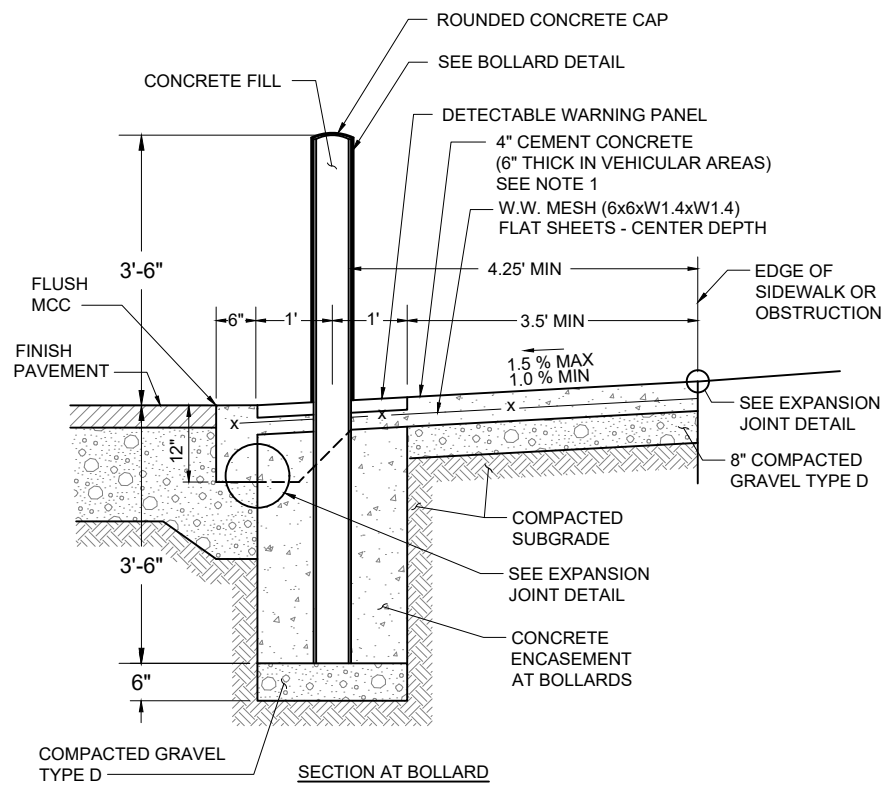


NOTES

1. SIZE OF PAD TO BE AS INDICATED ON PLANS.
2. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 30 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.

Dumpster Pad

N.T.S. Source: VHB 1/16 LD\_710

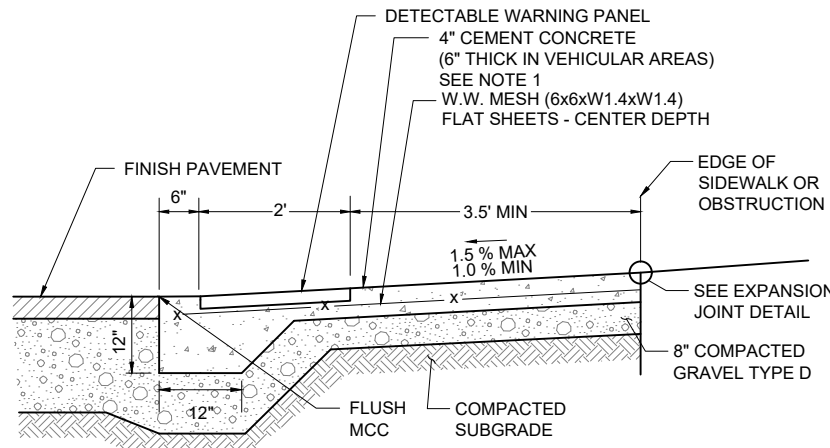


NOTES

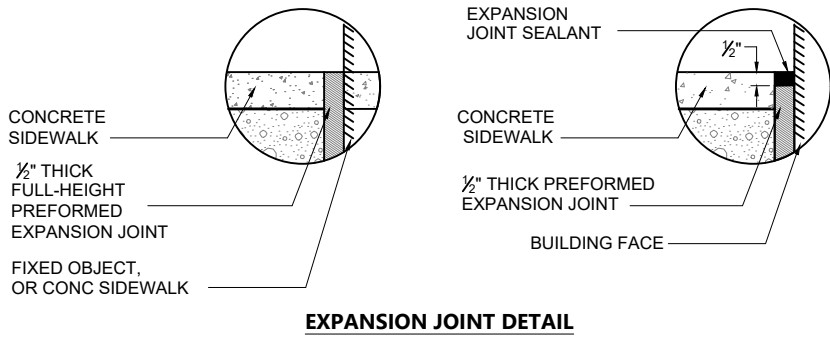
1. SLAB TO BE THICKENED AT PLAZA STAIR AND TRANSITION PLAZA EQUIPMENT (SEE STRUCTURAL PLANS).
2. CONCRETE FOR SIDEWALKS TO BE 4000 PSI TYPE II, 6% (1.5%) AIR ENTRAINED.
3. PROVIDE EXPANSION JOINTS AT MAX 30 FT O.C. WITH PRE-FORMED EXPANSION JOINT FILLER.
4. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
5. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

Bollard at Monolithic Concrete Curbing (MCC) & Sidewalk

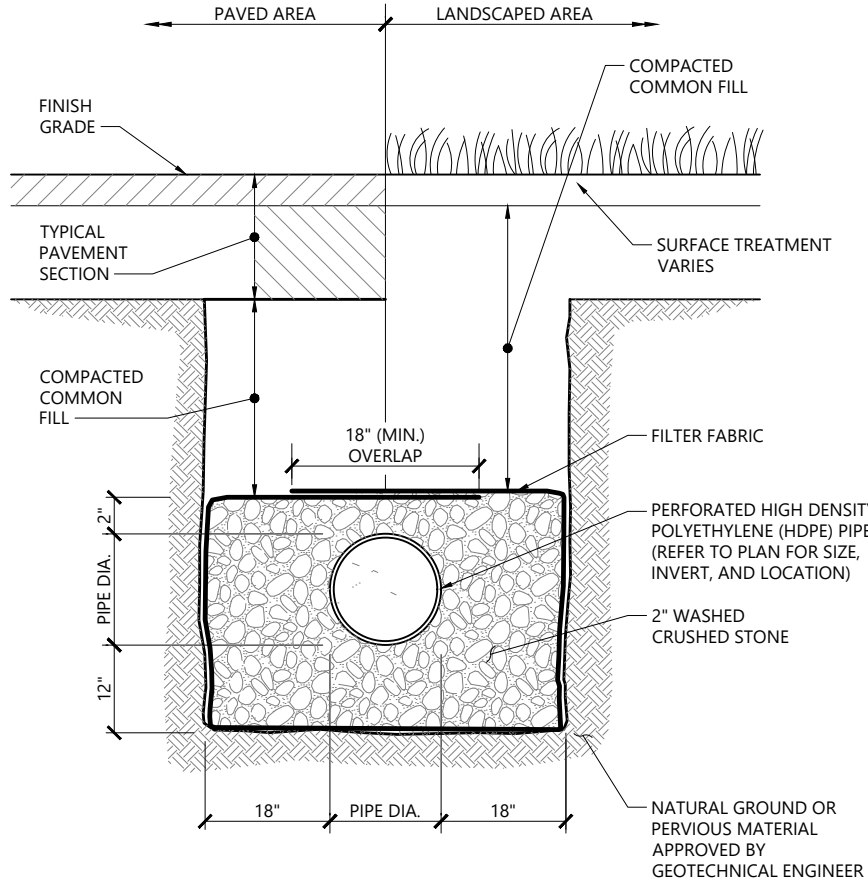
N.T.S. Source: VHB 2/23 LD\_999



SECTION BETWEEN BOLLARDS

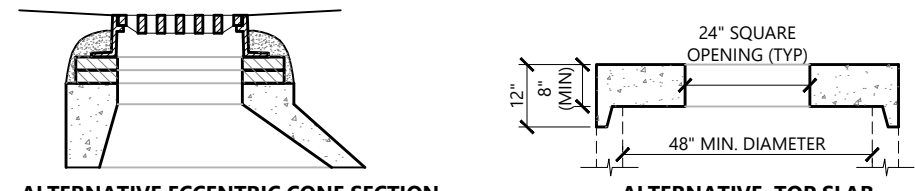


EXPANSION JOINT DETAIL



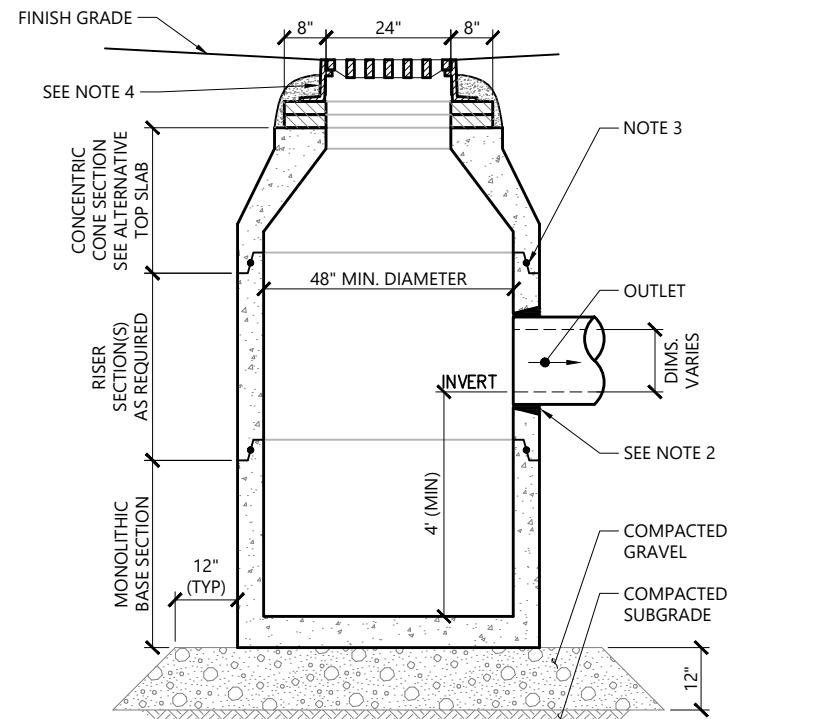
Subsurface Recharge Trench

N.T.S. Source: VHB 12/19 LD\_181



ALTERNATIVE ECCENTRIC CONE SECTION

ALTERNATIVE TOP SLAB

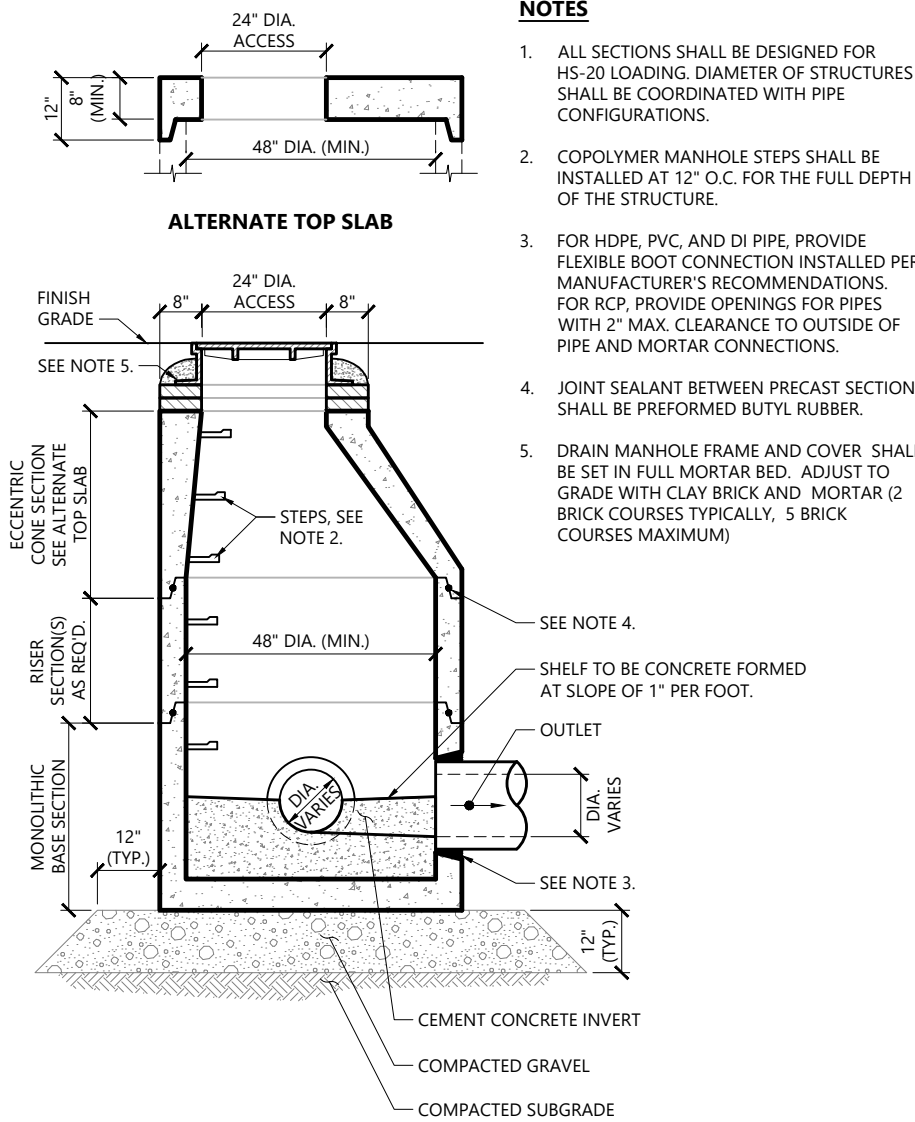


NOTES

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. FOR HDPE, PVC, AND DI PIPE, PROVIDE FLEXIBLE BOOT CONNECTION INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FOR RCP, PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE AND MORTAR CONNECTIONS.
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
4. CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

Catch Basin (CB)

N.T.S. Source: VHB 11/19 LD\_100

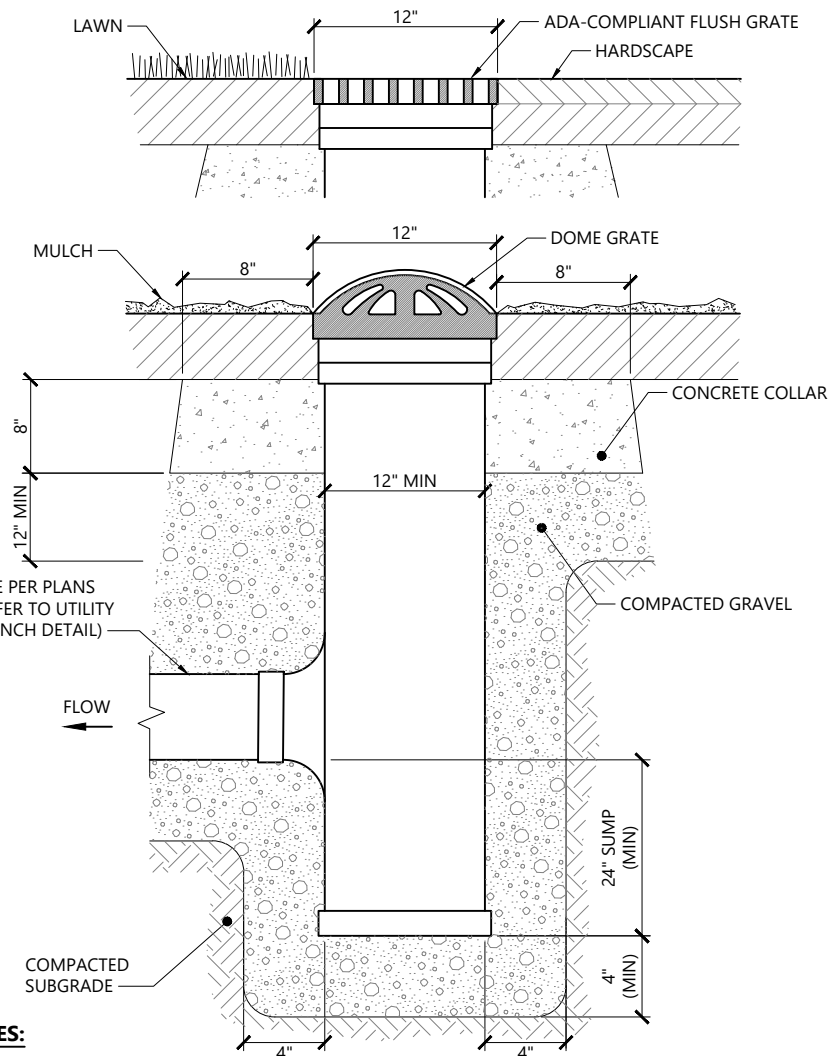


NOTES

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING. DIAMETER OF STRUCTURES SHALL BE COORDINATED WITH PIPE CONFIGURATIONS.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. FOR HDPE, PVC, AND DI PIPE, PROVIDE FLEXIBLE BOOT CONNECTION INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FOR RCP, PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE AND MORTAR CONNECTIONS.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

Drain Manhole (DMH)

N.T.S. Source: VHB 11/19 LD\_115



NOTES:

1. AREA DRAINS SHALL BE NYLOPLAST 12" DIAMETER DRAIN BASIN, OR APPROVED EQUAL.
2. GRATES SHALL BE NYLOPLAST 12" PEDESTRIAN MODEL 1299CGP OR 12" DOME GRATE MODEL 1299CGD (OR APPROVED EQUAL).
3. WHEN AREA DRAIN GRATE IS SET ABOVE GRADE, ALL VISIBLE PIPE SHALL BE BLACK.

Area Drain (AD) Type 1

N.T.S. Source: VHB 12/19 LD\_193

vhb.com

**vhb**

2 Bedford Farms Drive  
Suite 200  
Bedford, NH 03110  
603.391.3900

Proposed Chipotle

55 Crystal Ave  
Derry, NH 03038

No.	Revision	Date	Apprd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by SJF Checked by DHF  
Issued for TRC Review Date February 23, 2023

Not Approved for Construction

Drawing Title  
**Site Details 2**

Drawing Number

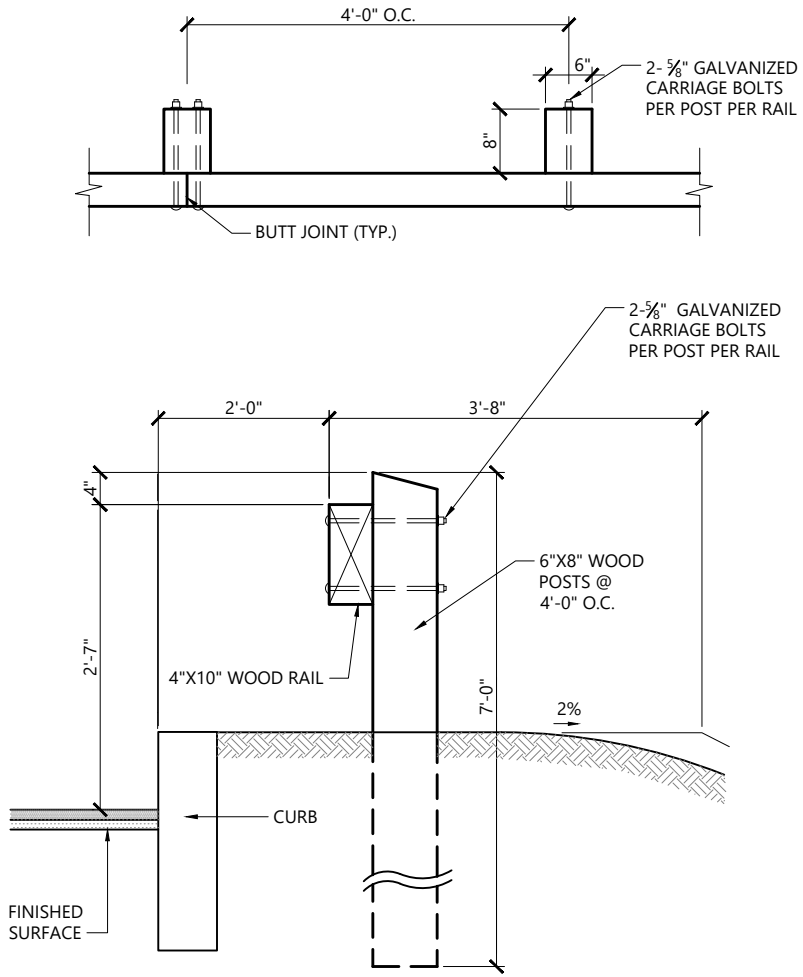
**C7.02**

Sheet 8 of 13

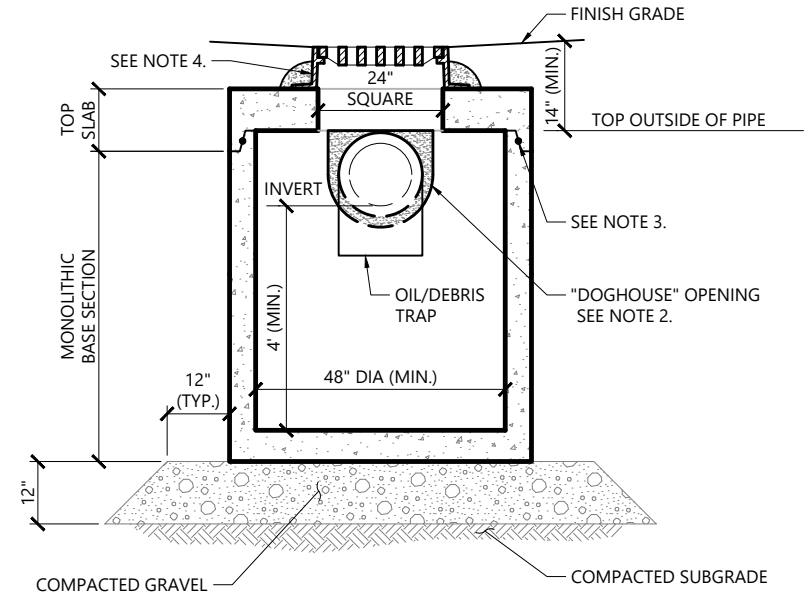
Project Number  
52869.01

STATE OF NEW HAMPSHIRE  
DAVID H. FENSTERMACHER  
No. 13382  
PROFESSIONAL ENGINEER

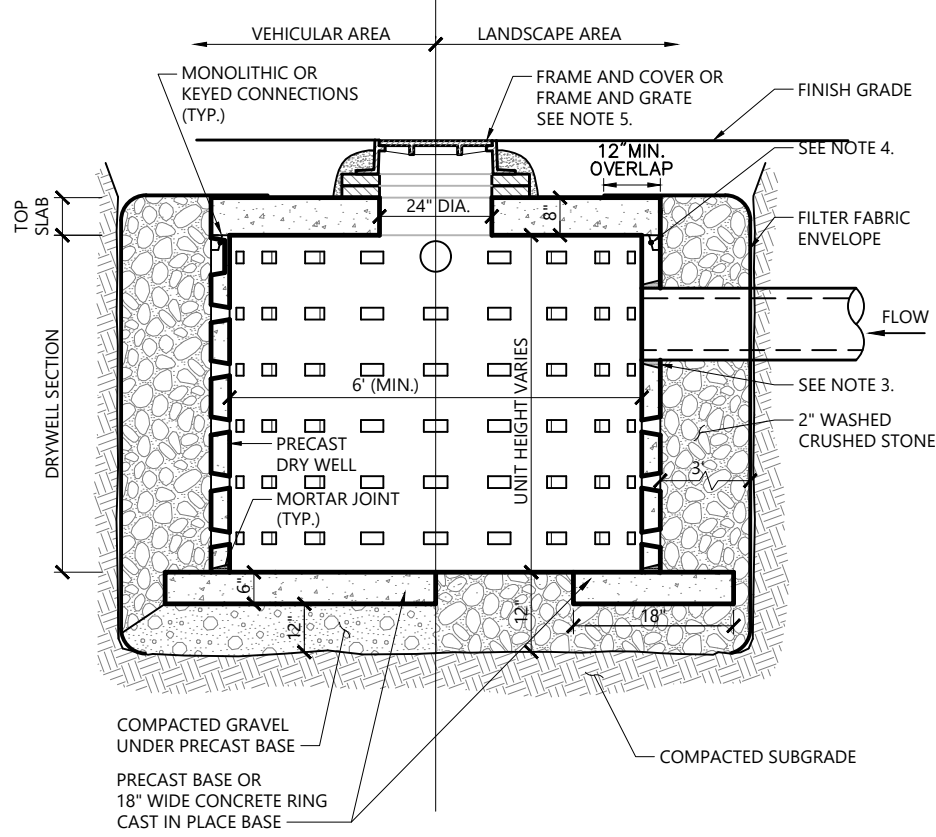




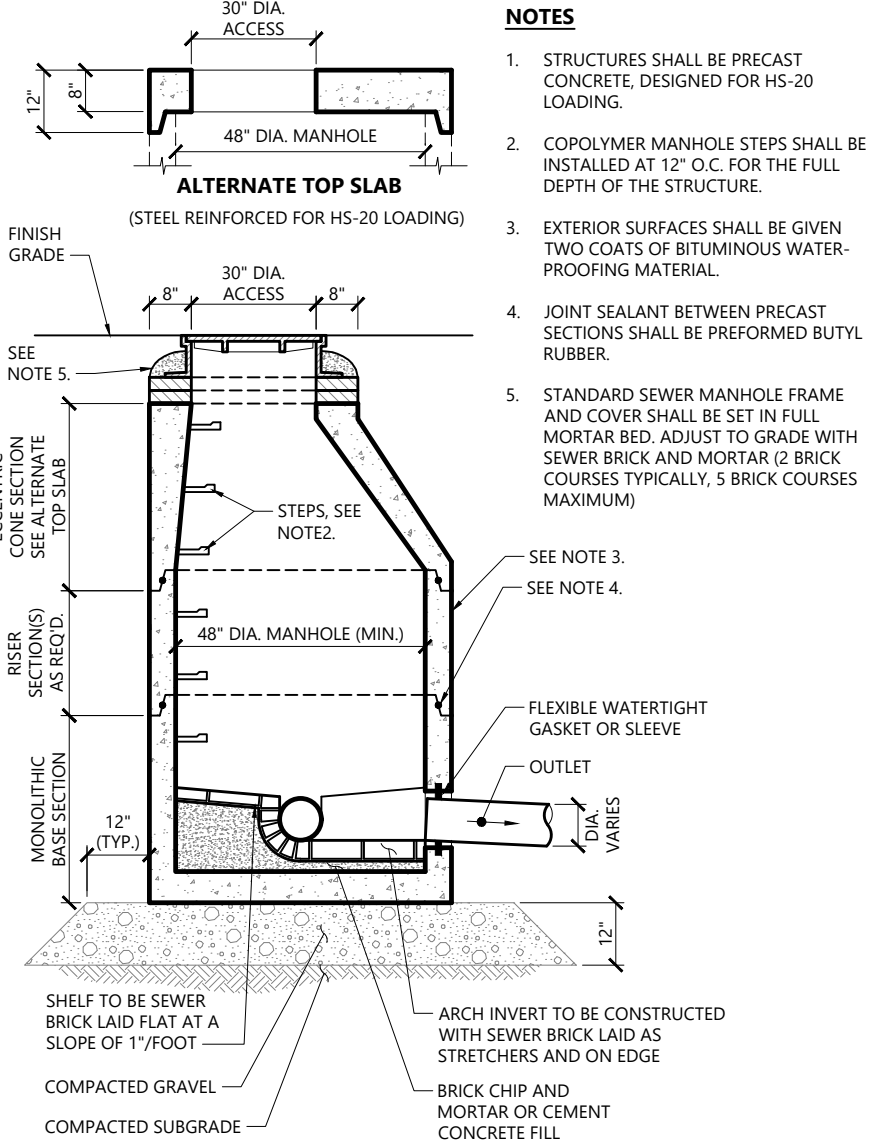
**Wood Guardrail** 10/20  
N.T.S. Source: VHB LD\_450



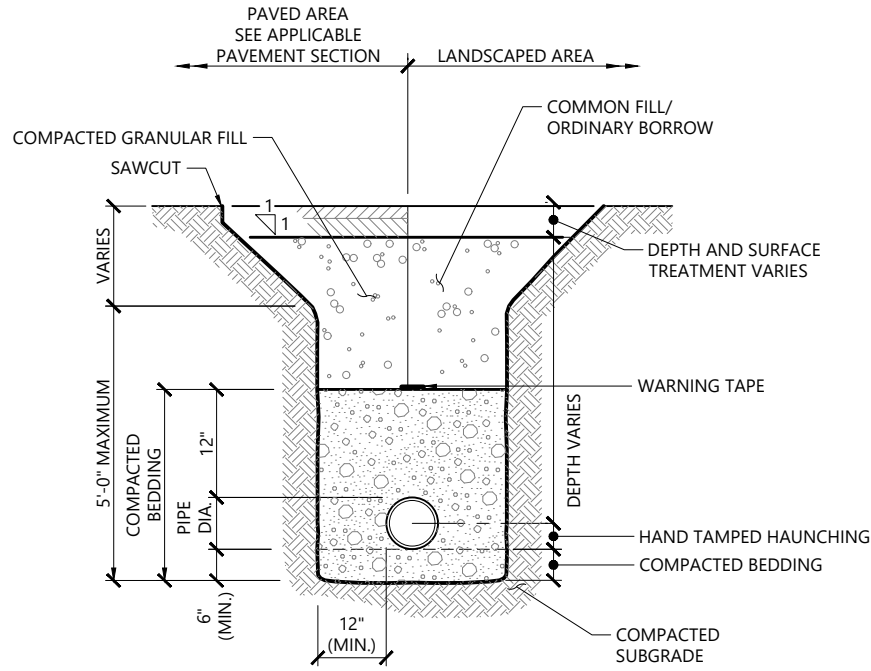
**Catch Basin (CB) Shallow Cover with Oil/Debris Trap** 1/16  
N.T.S. Source: VHB LD\_105



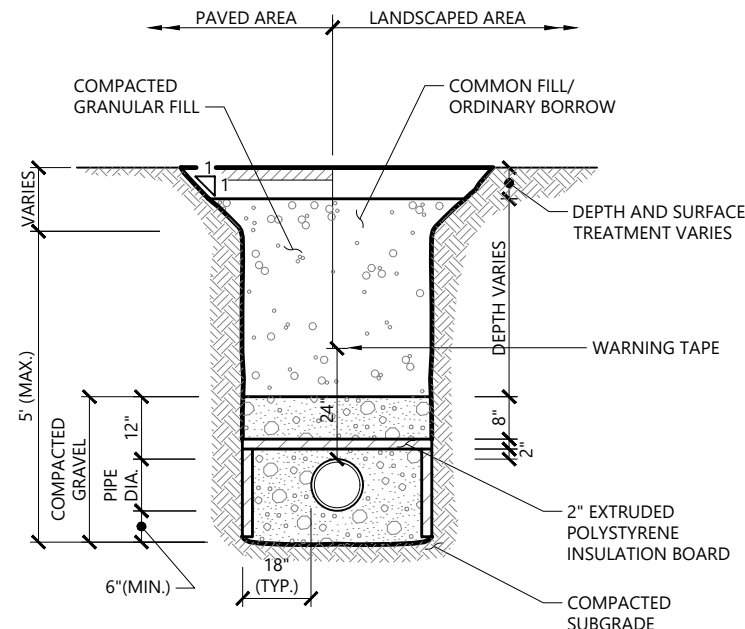
**Leaching Chamber (LC)** 12/19  
N.T.S. Source: VHB LD\_180



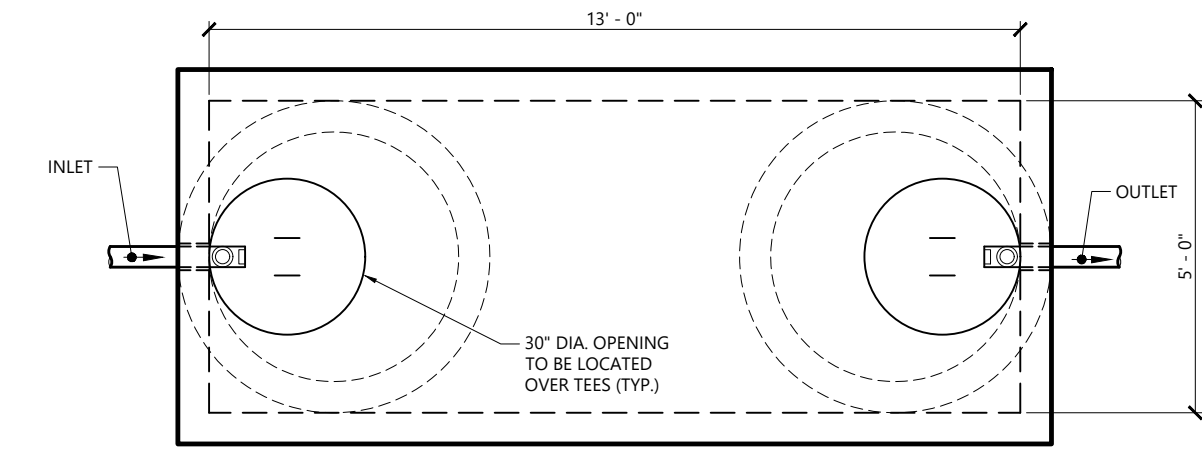
**Sanitary Sewer Manhole (SMH)** 1/16  
N.T.S. Source: VHB LD\_200



**Utility Trench** 11/19  
N.T.S. Source: VHB LD\_300



**Utility - Pipe Insulation** 12/19  
N.T.S. Source: VHB LD\_305



**Precast Concrete Grease Trap (GT)** 12/19  
N.T.S. Source: VHB LD\_210

## Proposed Chipotle

55 Crystal Ave  
Derry, NH 03038

No.	Revision	Date	Apprvd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by	SJF	Checked by	DHF
Issued for		Date	

TRC Review February 23, 2023

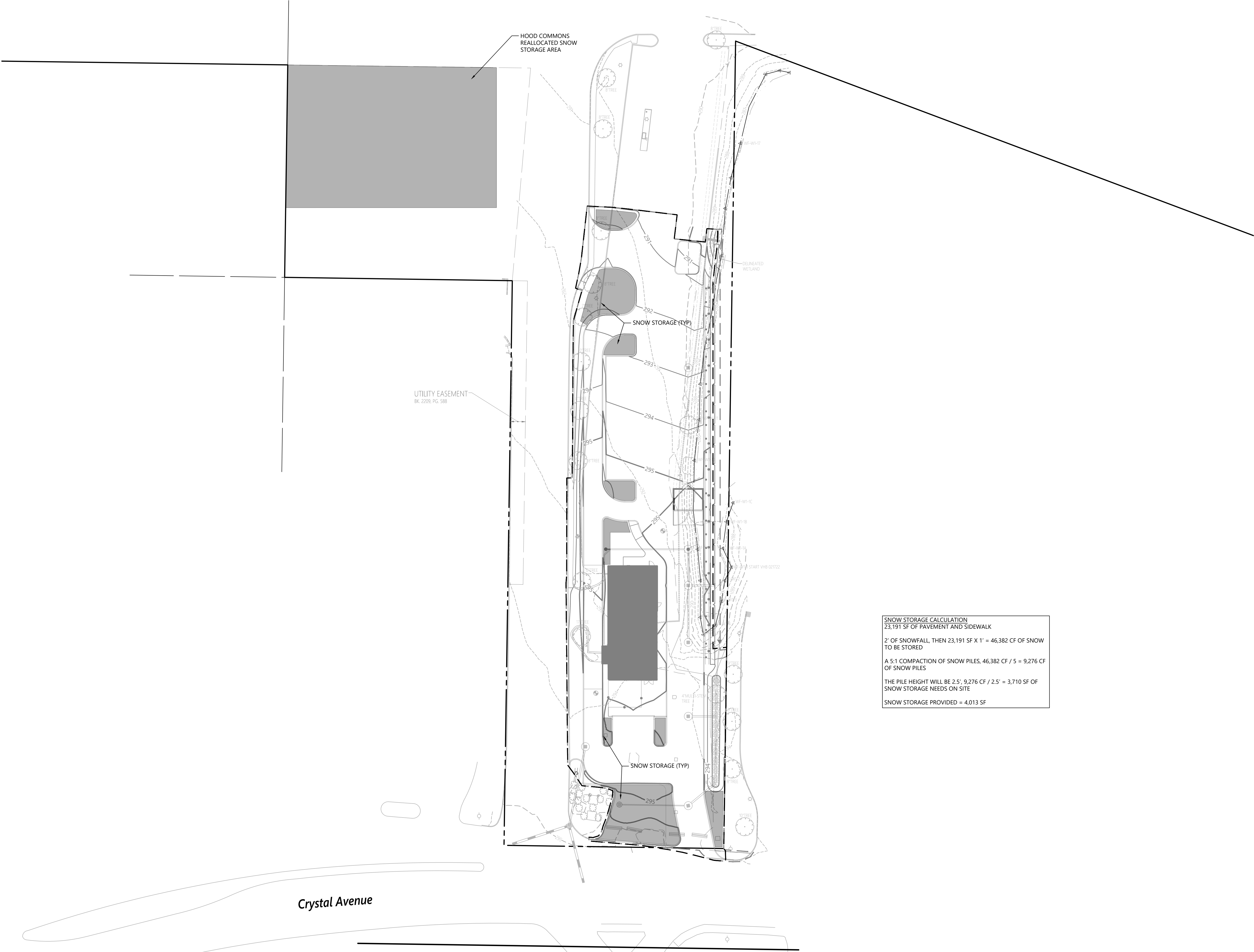
Not Approved for Construction

Site Details 3









SNOW STORAGE CALCULATION  
23,191 SF OF PAVEMENT AND SIDEWALK

2' OF SNOWFALL, THEN 23,191 SF X 1' = 46,382 CF OF SNOW  
TO BE STORED

A 5:1 COMPACTION OF SNOW PILES, 46,382 CF / 5 = 9,276 CF  
OF SNOW PILES

THE PILE HEIGHT WILL BE 2.5', 9,276 CF / 2.5' = 3,710 SF OF  
SNOW STORAGE NEEDS ON SITE

SNOW STORAGE PROVIDED = 4,013 SF



Proposed Chipotle

55 Crystal Ave  
Derry, NH 03038

No.	Revision	Date	Appvd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by	SJF	Checked by	DHF
Issued for		Date	February 23, 2023

Not Approved for Construction

Drawing Title

Snow Storage Plan

Drawing Number

C8.01

Sheet 11 of 13

Project Number 52869.01

DAVID H. FENSTERMACHER  
No. 13382  
LICENSED PROFESSIONAL ENGINEER  
STATE OF NEW HAMPSHIRE



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
ARO	2	Acer rubrum 'October Glory'	October Glory Maple	2 1/2 - 3" CAL.	8" BRANCHING HEIGHT MINIMUM
GT	6	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2 1/2 - 3" CAL.	
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
CC	3	Carpinus caroliniana	American Hornbeam	2 - 2 1/2" CAL.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
CAH	29	Clethra alnifolia 'Hummingbird'	'Hummingbird' Summersweet	18 - 24" HT.	
JBH	169	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	18 - 24" SPD	
VC	23	Vaccinium corymbosum	Highbush Blueberry	2 - 3' HT.	
YV	20	Yucca filamentosa 'Variegata'	Variegated Adams's Needle	18 - 24" SPD	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
DC	92	Deschampsia cespitosa	Tufted Hair Grass	#2 POT	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
AN	92	Aster novae-angliae	New England Aster	#1 POT	
RH	150	Rudbeckia hirta	Black-eyed Susan	#2 POT	

ZONING REQUIREMENT NOTES:

15' WIDE STREET TREE STRIP ALONG FRONTAGE:

- 1 NATIVE TREE FOR EVERY 50' OF FRONTAGE (100' / 50 = 2 TREES)
- MINIMUM 25' BETWEEN TREES
- MINIMUM 2.5" CALIPER
- MINIMUM 8' BRANCHING HEIGHT

DECIDUOUS / ORNAMENTAL TREES:

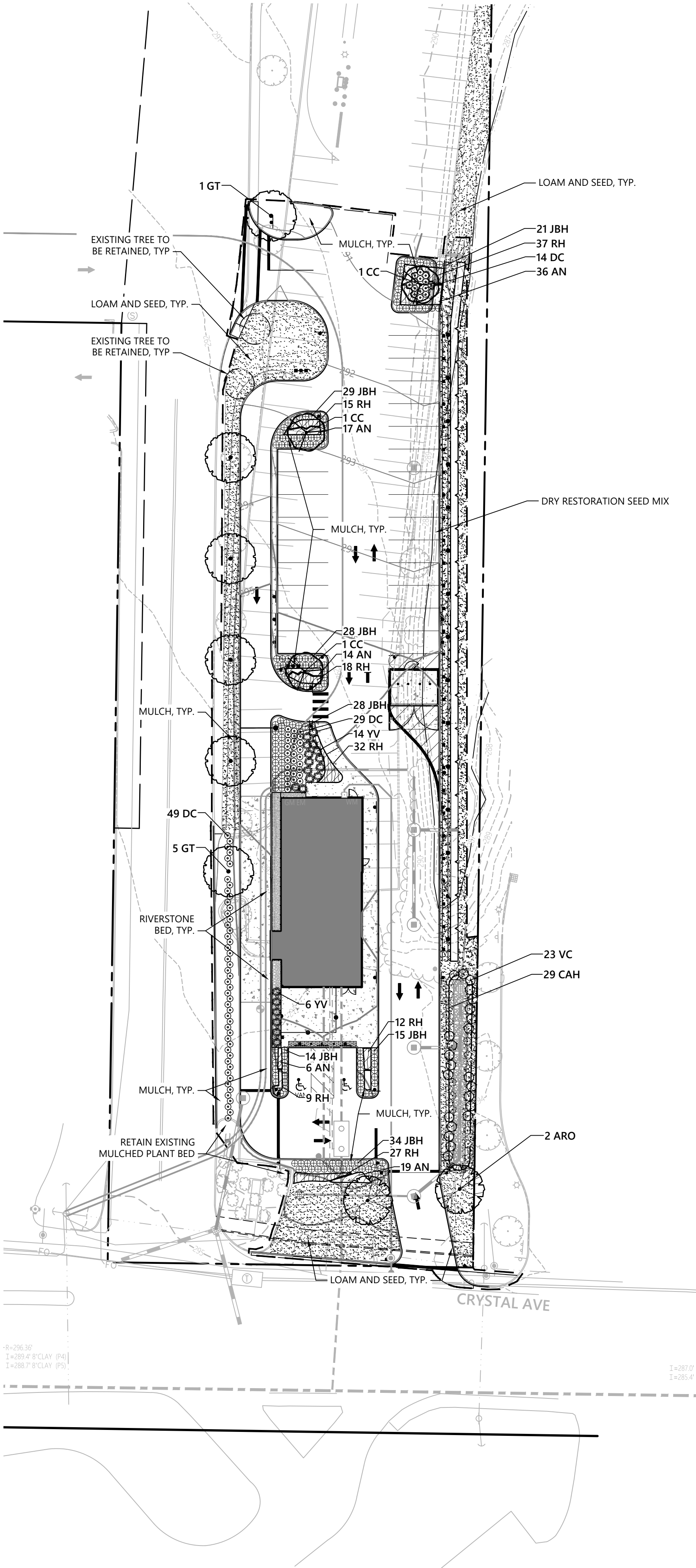
- 1 DECIDUOUS / ORNAMENTAL TREE FOR EVERY 30' OF BUILDING EDGE ( 218' / 30 = 7.26 = 8 TREES)
- MINIMUM 2.5" CALIPER

SHRUBS:

- 1 DECIDUOUS / EVERGREEN SHRUB PER 2 PARKING SPACES (49 SPACES / 2 = 24.5 = 25 SHRUBS)
- MINIMUM 18" HEIGHT AND WIDTH

LOCATION:

- 25% OF TREES AND SHRUBS TO BE LOCATED WITHIN CURBED AND RAISED ISLANDS WITHIN PAVED AREAS



Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

Tree Protection

- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

Seed Mixtures:

- AREAS INDICATED AS "DRY RESTORATION SEED MIX" ARE TO BE SEEDED WITH NEW ENGLAND CONSERVATION EROSION CONTROL/RESTORATION MIX FOR DRY SITES, AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. AMHERST, MA (413) 548-8000, www.NEWP.com,OR AN APPROVED EQUAL. APPLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- AREAS INDICATED AS "BIORETENTION SEED MIX" ARE TO BE SEEDED WITH NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION PONDS AND MOIST AREAS, AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. AMHERST, MA (413) 548-8000, www.NEWP.com,OR AN APPROVED EQUAL. APPLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.



vhb.com

2 Bedford Farms Drive  
Suite 200  
Bedford, NH 03110  
603.391.3900



Proposed Chipotle

55 Crystal Ave  
Derry, NH 03038

No.	Revision	Date	Appvd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF
2	TRC RESPONSE TO COMMENTS	5/2/2023	DHF
3	TRC RESPONSE TO COMMENTS	5/19/2023	DHF

Designed by	JCL	Checked by	MK
-------------	-----	------------	----

Issued for  
**TRC Review**

Date  
**February 23, 2023**

Not Approved for Construction

Drawing Title

**Planting Plan**

Drawing Number

L1.01

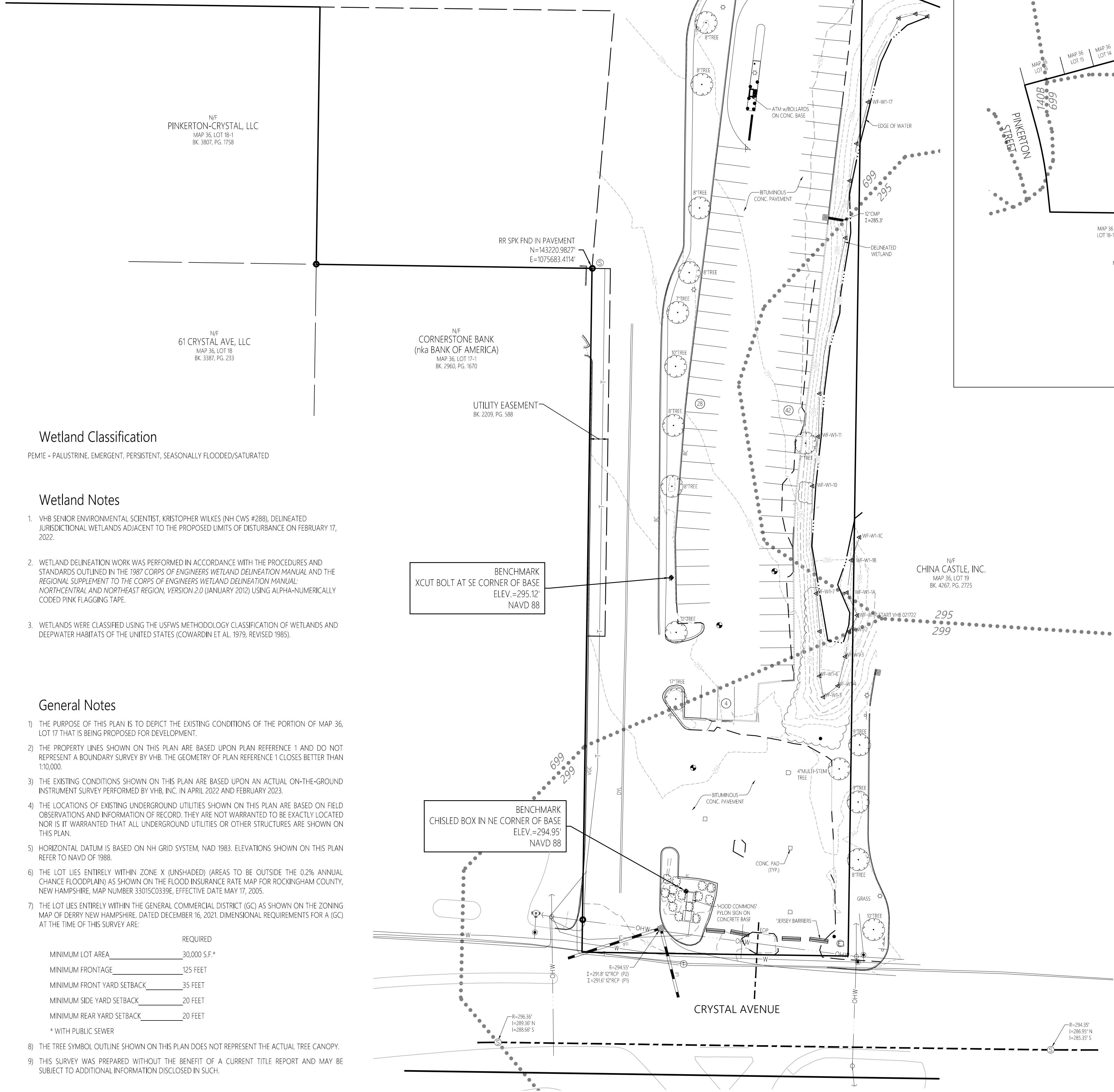
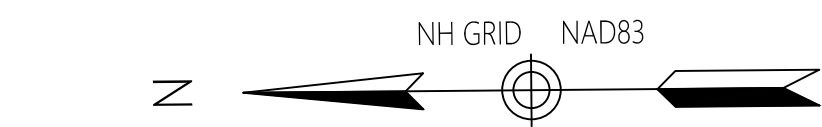
Sheet  
12 of 13

Project Number  
52869.01









## Wetland Classification

PEM1E - PALUSTRINE, EMERGENT, PERSISTENT, SEASONALLY FLOODED/SATURATED

## Wetland Notes

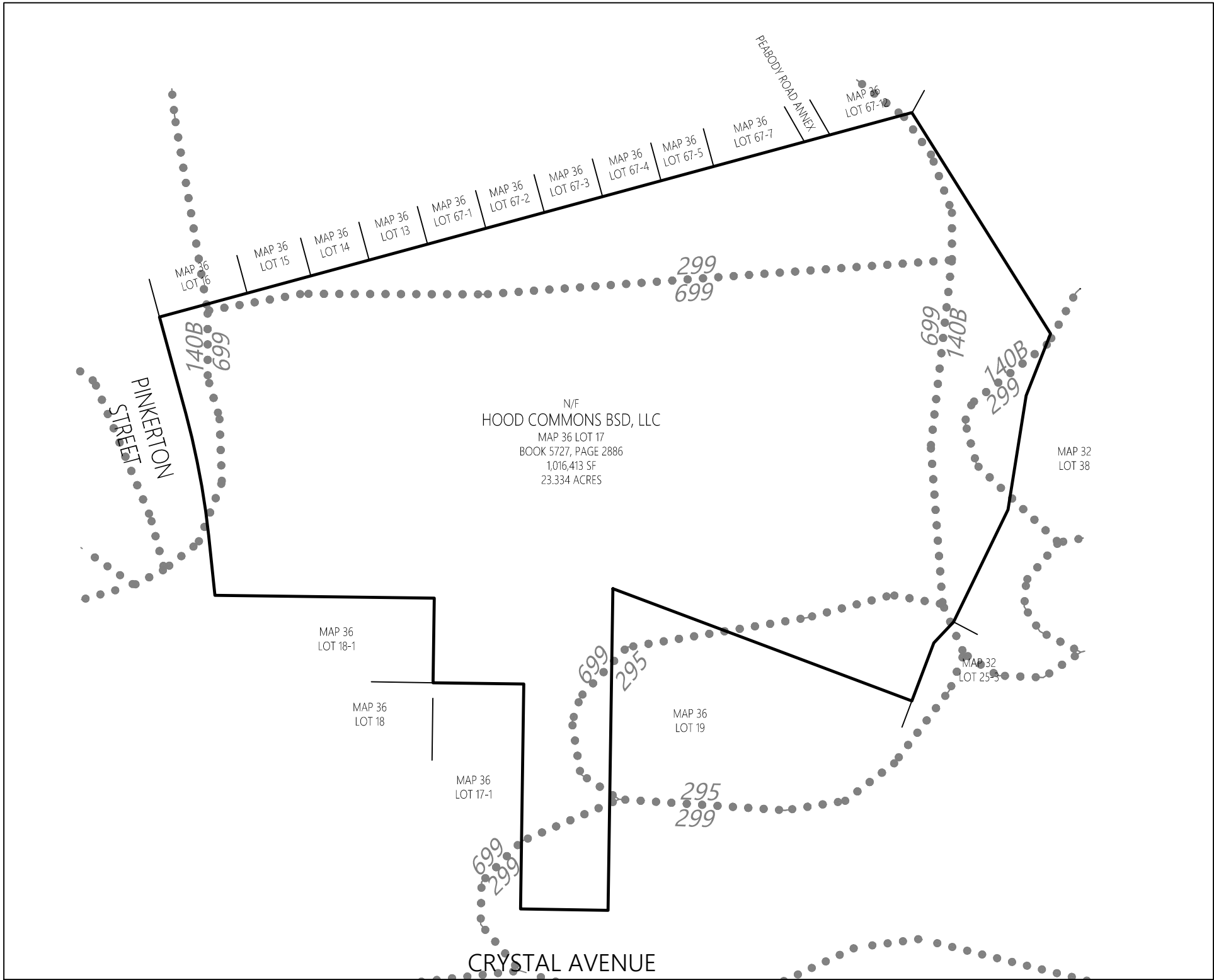
1. VHB SENIOR ENVIRONMENTAL SCIENTIST, KRISTOPHER WILKES (NH CWS #288), DELINEATED JURISDICTIONAL WETLANDS ADJACENT TO THE PROPOSED LIMITS OF DISTURBANCE ON FEBRUARY 17, 2022.
2. WETLAND DELINEATION WORK WAS PERFORMED IN ACCORDANCE WITH THE PROCEDURES AND STANDARDS OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0 (JANUARY 2012) USING ALPHA-NUMERICALLY CODED PINK FLAGGING TAPE.
3. WETLANDS WERE CLASSIFIED USING THE USFWS METHODOLOGY CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES (COWARDIN ET AL. 1979, REVISED 1985).

## General Notes

- 1) THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF THE PORTION OF MAP 36, LOT 17 THAT IS BEING PROPOSED FOR DEVELOPMENT.
- 2) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON PLAN REFERENCE 1 AND DO NOT REPRESENT A BOUNDARY SURVEY BY VHB. THE GEOMETRY OF PLAN REFERENCE 1 CLOSSES BETTER THAN 1:10,000.
- 3) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN APRIL 2022 AND FEBRUARY 2023.
- 4) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 5) HORIZONTAL DATUM IS BASED ON NH GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 6) THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33010SC0339E, EFFECTIVE DATE 17, 2005.
- 7) THE LOT LIES ENTIRELY WITHIN THE GENERAL COMMERCIAL DISTRICT (GC) AS SHOWN ON THE ZONING MAP OF DERRY NEW HAMPSHIRE, DATED DECEMBER 16, 2021. DIMENSIONAL REQUIREMENTS FOR A (GC) AT THE TIME OF THIS SURVEY ARE:

\* WITH PUBLIC SEWER

- 9) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.



## Abutters Map

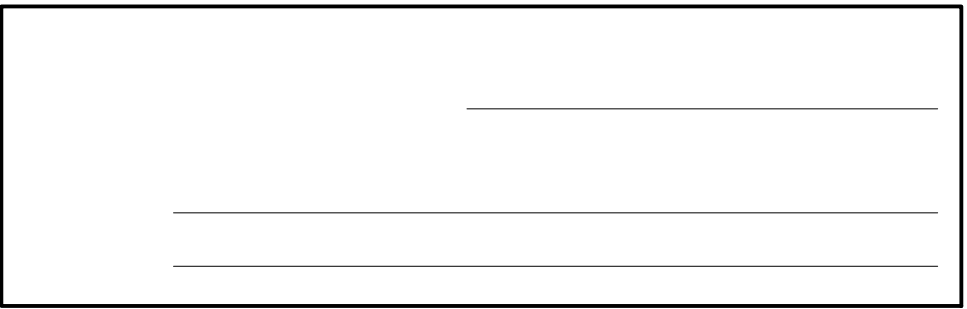
SCALE: 1"=200'

## NRCS Soils Legend

- |      |   |
|------|---|
| 140B | CHATFIELD-HOLLIS-CANTON COMPLEX<br>0 TO 8 PERCENT SLOPES, ROCKY |
| 295  | FREETOWN MUCKY PEAT<br>0 TO 2 PERCENT SLOPES                    |
| 299  | UDORTHERENTS<br>SMOOTHED  |
| 699  | URBAN LAND  |

## Plan Reference

- 1) ALTA/ACSM LAND TITLE SURVEY PREPARED FOR NOMURA ASSET CAPITAL PROJECT SITE No. 138 HOOD COMMONS, CRYSTAL AVENUE DERRY, NEW HAMPSHIRE DATED: MARCH 12, 1997 AND RECORDED AT THE RCRD AS PLAN D-25301.



2 Bedford Farms Drive  
Suite 200  
Bedford, NH 03110  
603.391.3900

## Suite 200

Bedford, NH 03110

603.391.3900

### Legend

- |  |                            |
|--|----------------------------|
|  | DRAIN MANHOLE              |
|  | CATCH BASIN                |
|  | SEWER MANHOLE              |
|  | ELECTRIC MANHOLE           |
|  | TELEPHONE MANHOLE          |
|  | MANHOLE                    |
|  | HAND HOLE                  |
|  | WATER GATE                 |
|  | FIRE HYDRANT               |
|  | GAS GATE                   |
|  | BOLLARD                    |
|  | BOLLARD w/LIGHT            |
|  | STREET SIGN                |
|  | LIGHT POLE                 |
|  | UTILITY POLE               |
|  | GUY POLE                   |
|  | GUY WIRE                   |
|  | MONITORING WELL            |
|  | FLOOD LIGHT                |
|  | MARSH                      |
|  | F.F.E. = 45.27             |
|  | FINISHED FLOOR ELEVATION   |
|  | COULD NOT OPEN             |
|  | NO PIPES VISIBLE           |
|  | DOUBLE YELLOW LINE         |
|  | DASHED WHITE LINE          |
|  | SINGLE YELLOW LINE         |
|  | LANDSCAPED AREA            |
|  | EDGE OF PAVEMENT           |
|  | CONCRETE CURB              |
|  | VERTICAL GRANITE CURB      |
|  | SLOPED GRANITE EDGE        |
|  | BITUMINOUS BERM            |
|  | BITUMINOUS CURB            |
|  | GUARDRAIL                  |
|  | CHAIN LINK FENCE           |
|  | DRAINAGE LINE              |
|  | SEWER LINE                 |
|  | OVERHEAD WIRE              |
|  | UNDERGROUND ELECTRIC       |
|  | TELEPHONE LINE             |
|  | GAS LINE                   |
|  | WATER LINE                 |
|  | STONE WALL                 |
|  | TREE LINE                  |
|  | VEGETATED WETLAND BOUNDARY |

## Proposed Chipotle

55 Crystal Avenue  
Derry, New Hampshire 03038

Derry, New Hampshire 03038

No.	Revision	Date	Appvd.
1	TRC RESPONSE TO COMMENTS	4/7/2023	DHF

Designed by	Checked by
-------------	------------

February 23, 2023

Drawing Title

## Existing Conditions Plan of Land

## Plan of Land

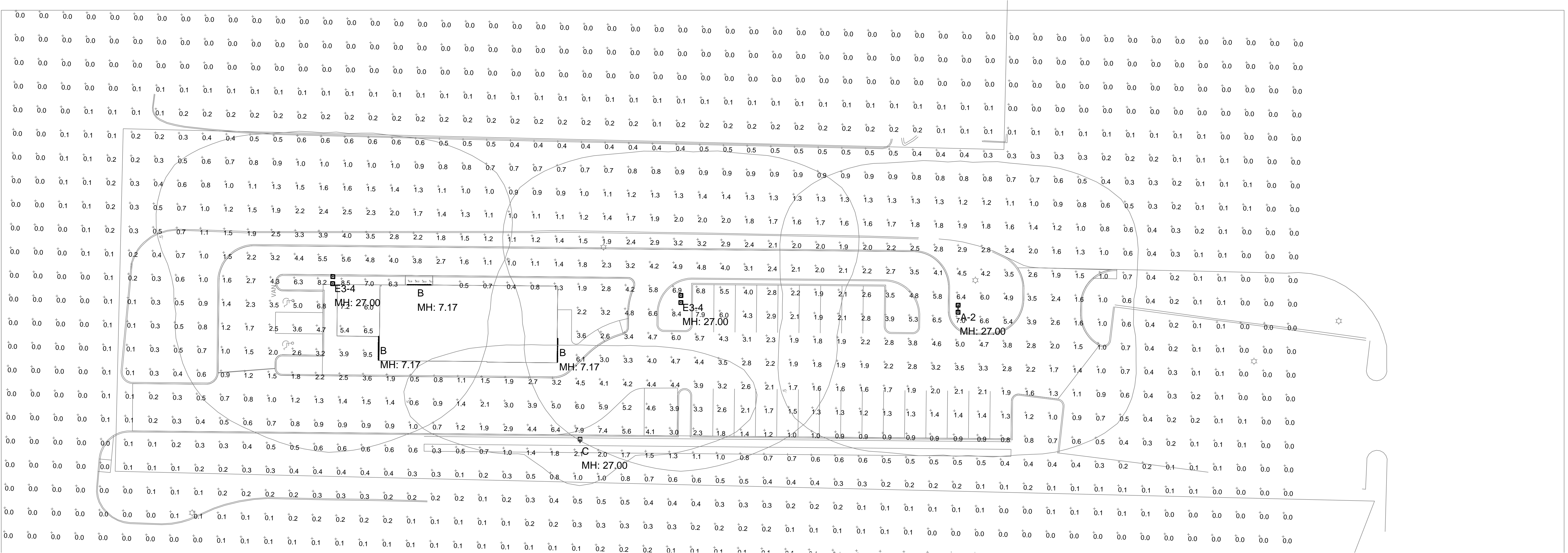
Drawing Number

# Sv-1

Sheet 1 of

Project Number  
**52869.00**





JOB NAME: CHIPOTLE - 55 CRYSTAL AVE - DERRY, NH  
APEX LIGHTING SOLUTIONS  
WORKPLANE/CALC PLANE: AT FINISH GRADE  
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE  
APPS: LED/PD  
SALES: SP  
SPECIFIER: VHB-NH

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	[MANUFAC]
	1	A-2	Back-Back	20843	160.3727	0.850	EH19L-96L-560-NW-G2-AR1-3-VOLT-DD-SP1-FINISH, 25ft Pole, 2ft Concrete Base	SIGNIFY GARDCO
	30	B	Single	414	5	0.850	HHW-10-24V-95C-30K-ST (Modeled as ten one-foot sections), Mounted 7ft2in AFG	preciseLED
	1	C	Single	17174	171	0.850	EH19L-96L-560-NW-G2-AR1-2-VOLT-DD-SP1-HIS-FINISH, 25ft Pole, 2ft Concrete Base	SIGNIFY GARDCO
	2	E3-4	GROUP	N.A.	N.A.	0.850	EH19L-96L-560-NW-G2-AR1-3/4-VOLT-DD-SP1-FINISH, 25ft Pole, 2ft Concrete Base	N.A.

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Site	Illuminance	Fc	0.86	9.5	0.0	N.A.	N.A.	10ft Grid
Under Canopy	Illuminance	Fc	17.80	20.2	15.1	1.18	1.34	3ft Grid
Dumpster Area	Illuminance	Fc	3.90	4.6	3.0	1.30	1.53	10ft Grid
Parking & Drives	Illuminance	Fc	2.74	8.4	0.2	13.70	42.00	10ft Grid
Patio	Illuminance	Fc	6.28	7.2	5.4	1.16	1.33	10ft Grid

GENERAL DISCLAIMER:

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

\* LLF Determined Using Current Published Lamp Data

NOTE TO REVIEWER:

Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Depreciation (LLD) from current lamp manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.

For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.



20-30 BEAVER ROAD, WETHERSFIELD, CT 06109  
TELEPHONE 860.632.8766 / WWW.APEXLTG.COM

PROJECT TITLE:

CHIPOTLE  
55 CRYSTAL AVE  
DERRY, NH

DRAWING TITLE:

SITE LIGHTING  
PHOTOMETRIC CALCULATION

SCALE : 1"=20'-0"

DATE : 3/10/23

DRAWN BY: LED/PD

SHEET:

SL-1A

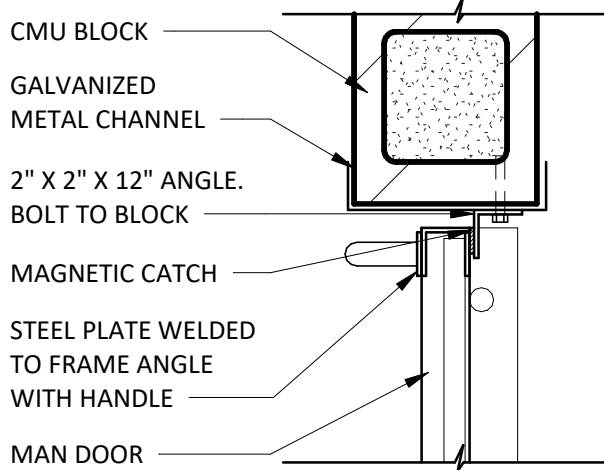






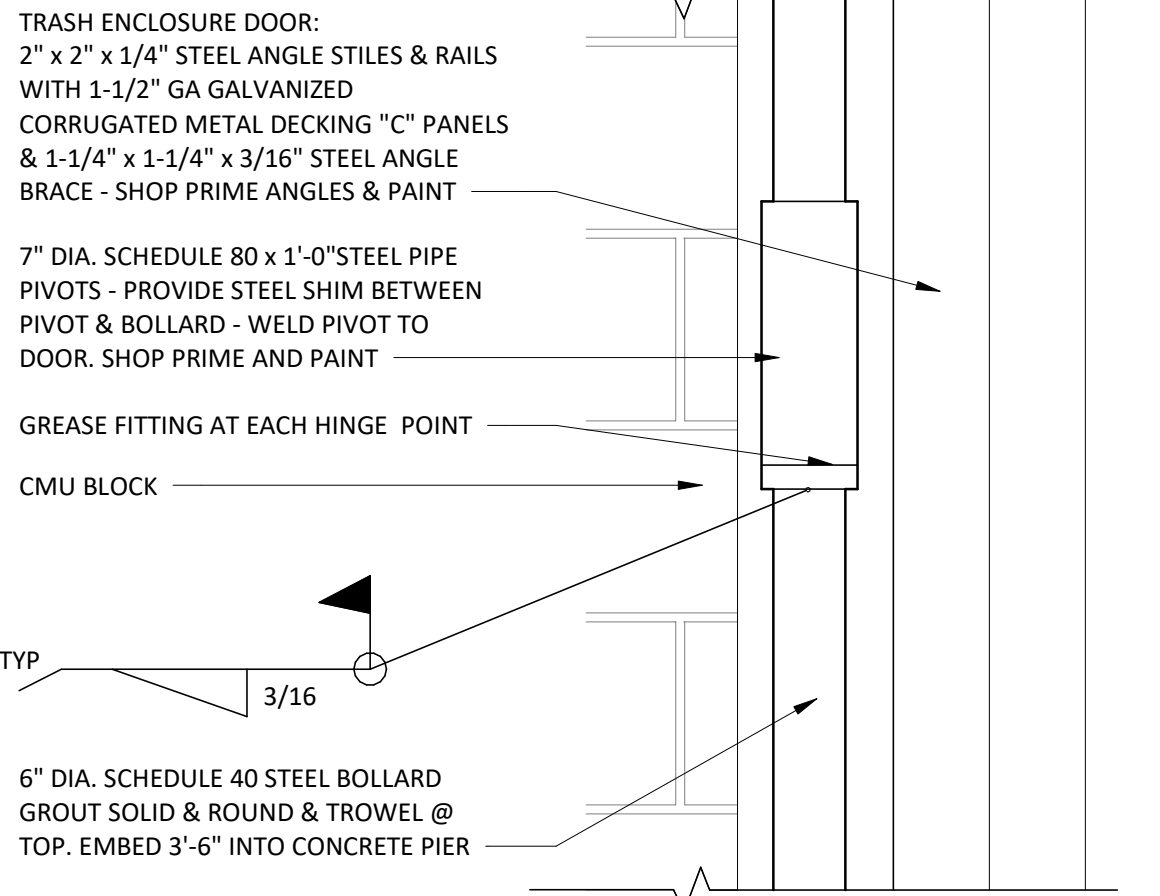
DUMPSTER ENCLOSURE FINISH SCHEDULE

MATERIAL	COLOR/FINISH
CMU - PRIMER	REFER TO PAINT SPECIFICATIONS, COLOR 'WHITE'
CMU	REFER TO PAINT SPECIFICATIONS
METAL COPING	PREFINISHED TO MATCH CMU
CORRUGATED METAL & DOOR FRAMES	PAINTED 'KNIGHTS ARMOR' PPG 1001-6



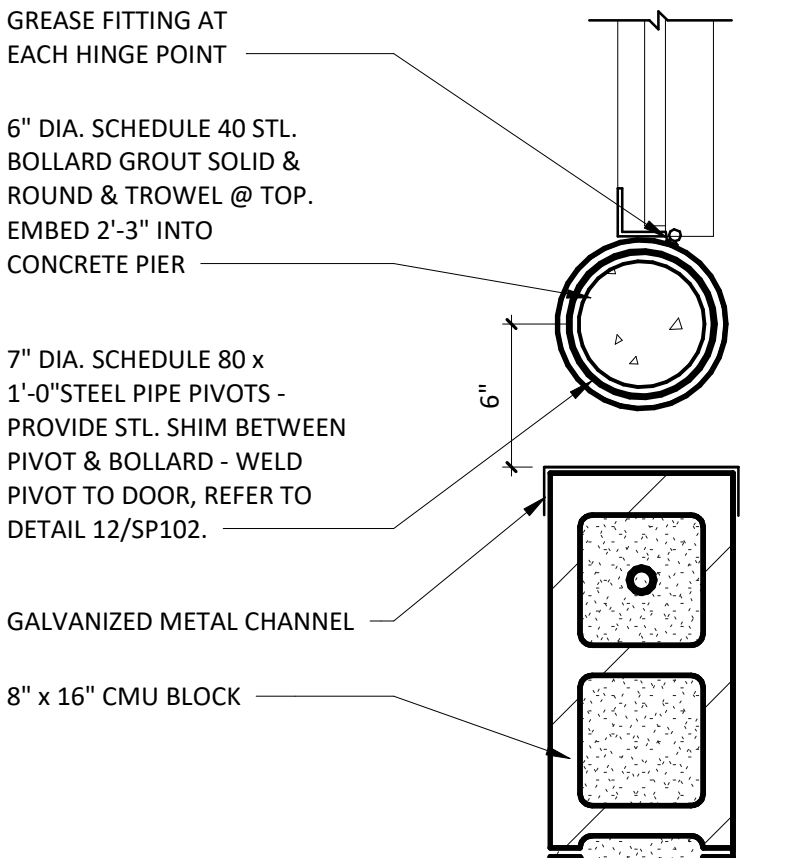
MAN DOOR LATCH DETAIL

1 1/2" = 1'-0"



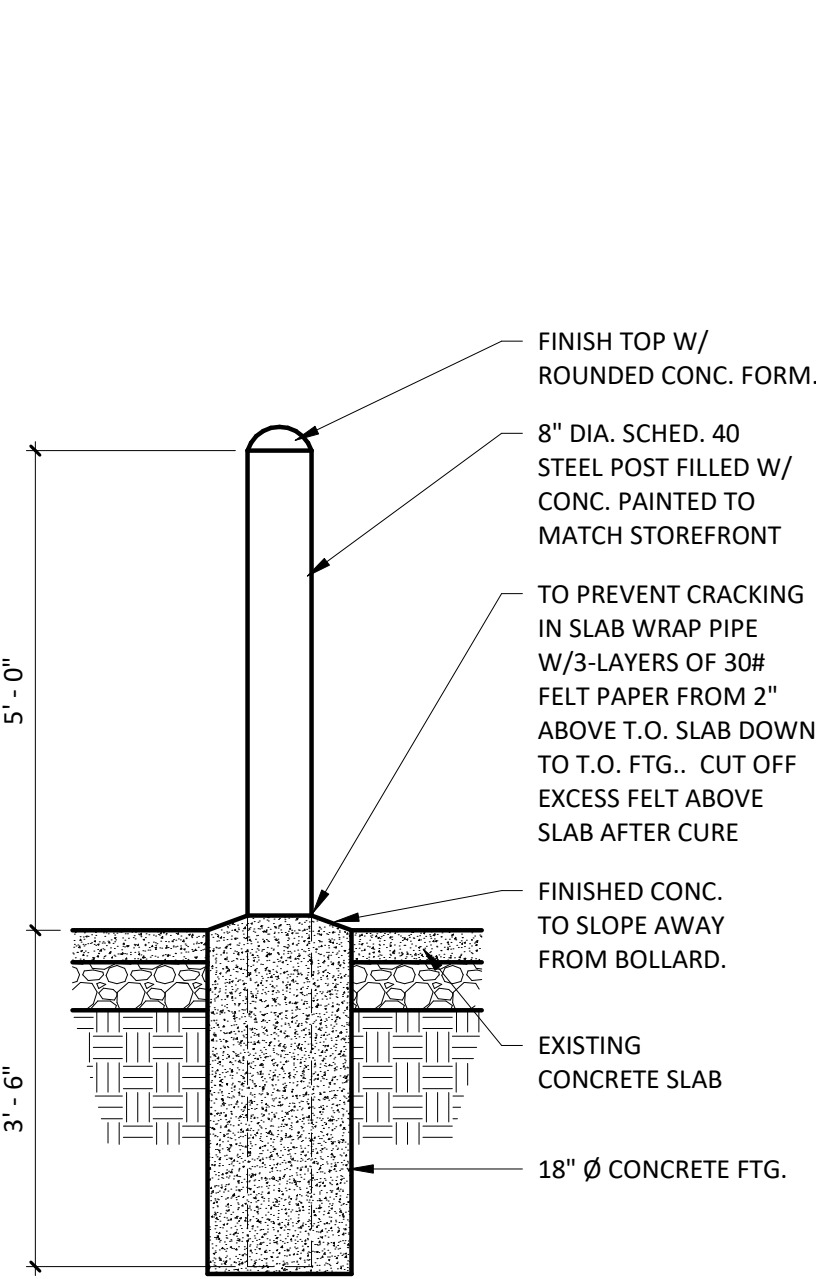
MAN DOOR PIVOT

1 1/2" = 1'-0"



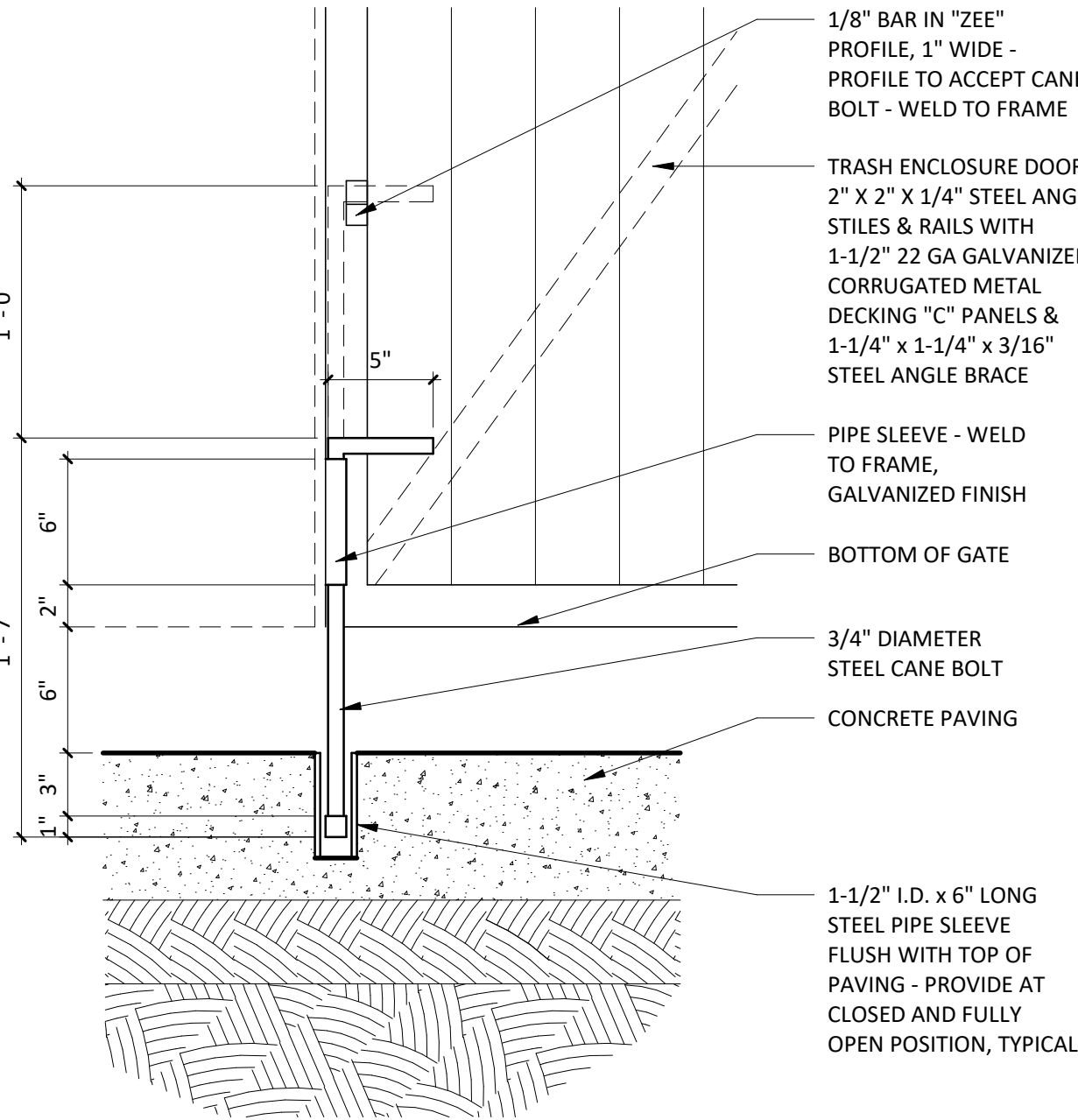
MAN DOOR PIVOT DETAIL

1 1/2" = 1'-0"



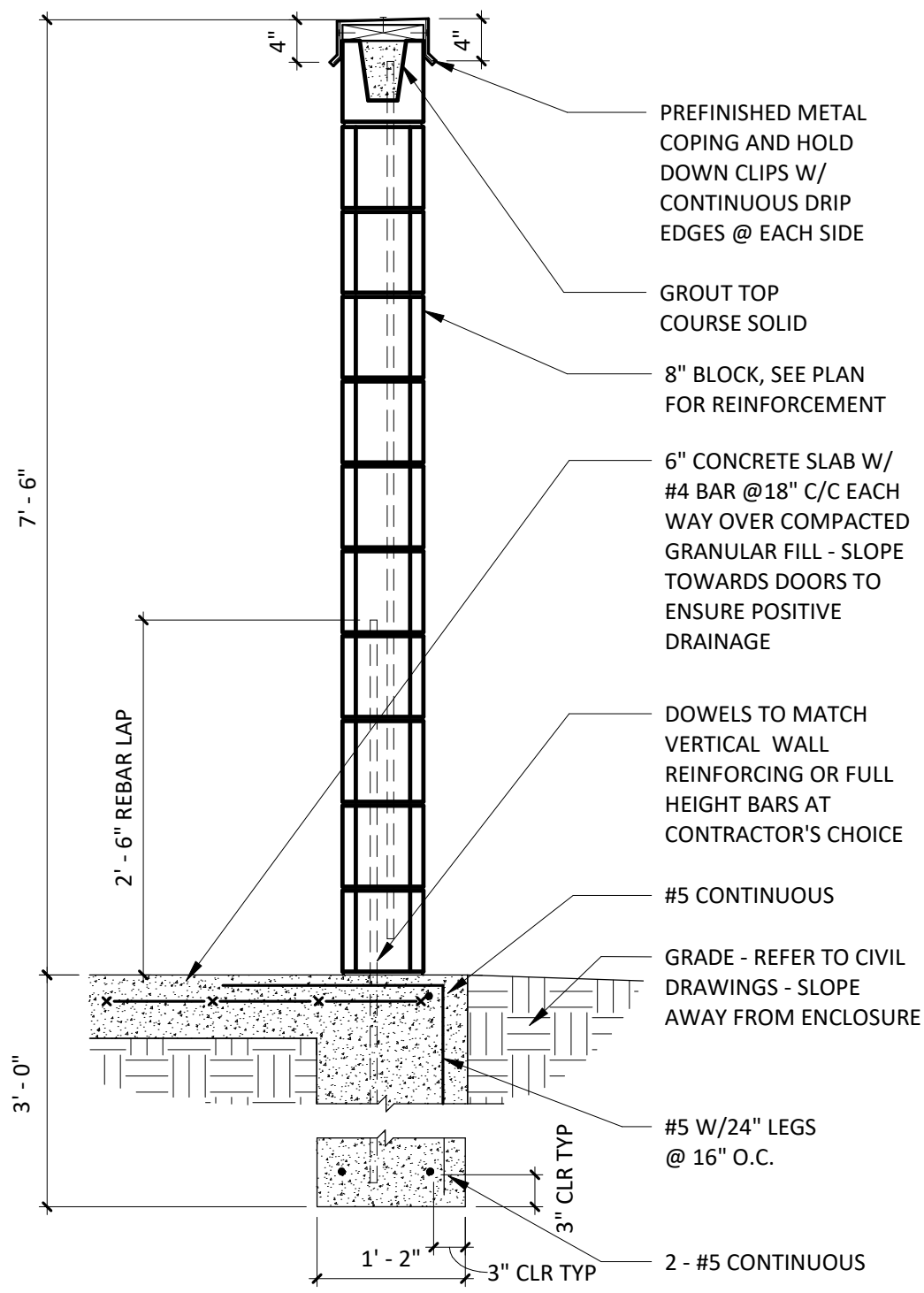
TYP. BOLLARD DETAIL

1 1/2" = 1'-0"



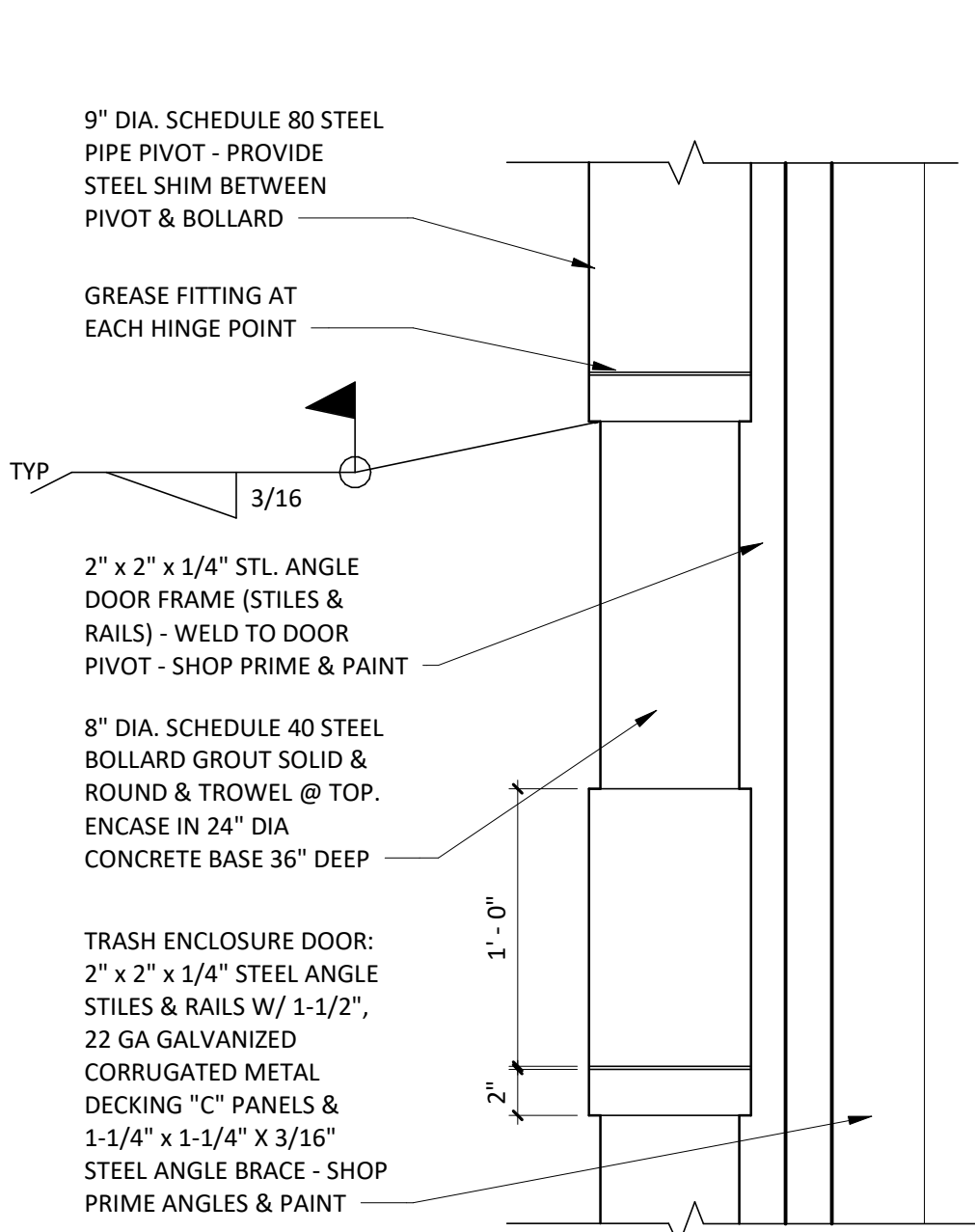
TYPICAL CANE BOLT DETAIL

1 1/2" = 1'-0"



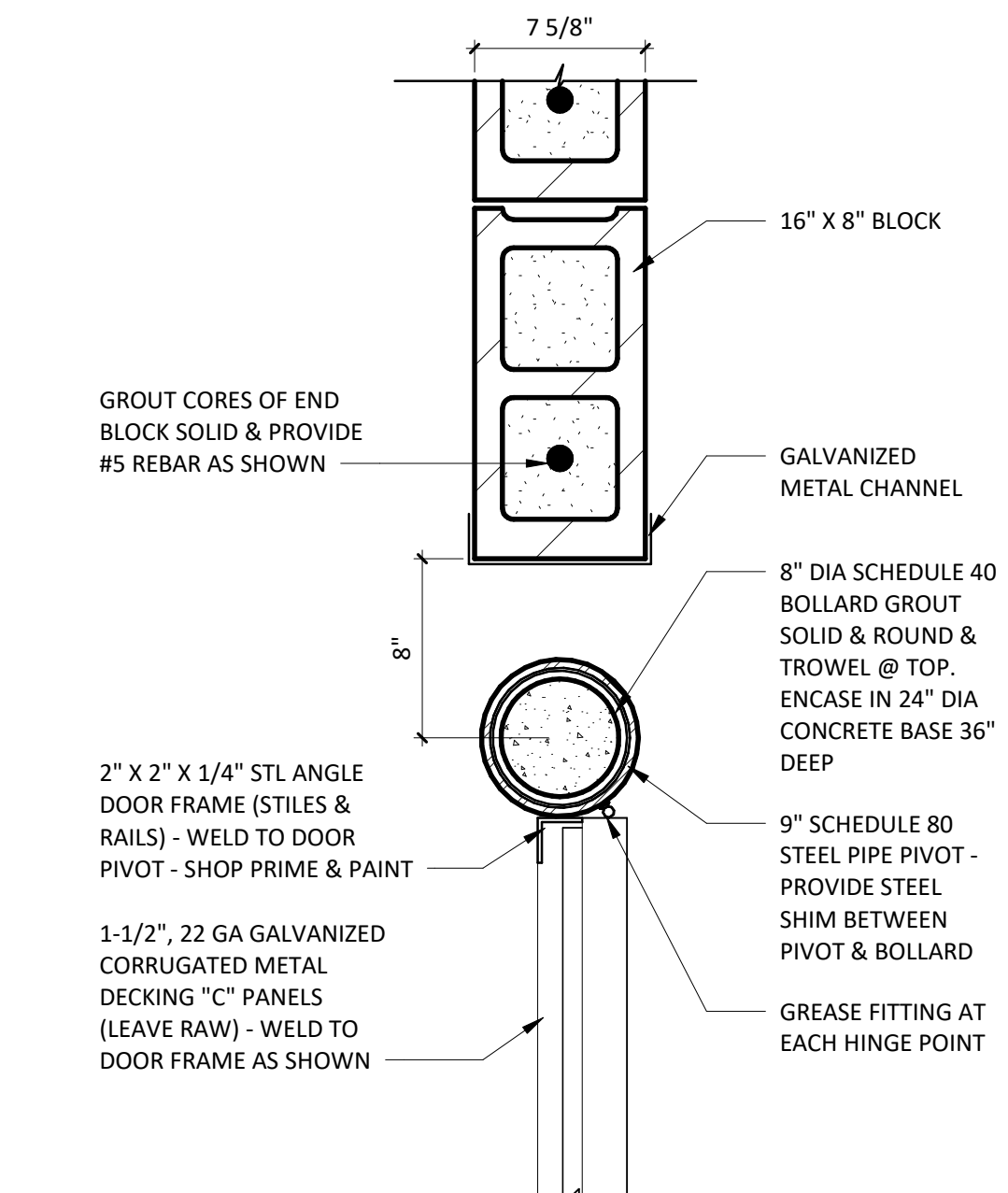
DUMPSTER DETAIL

3/4" = 1'-0"



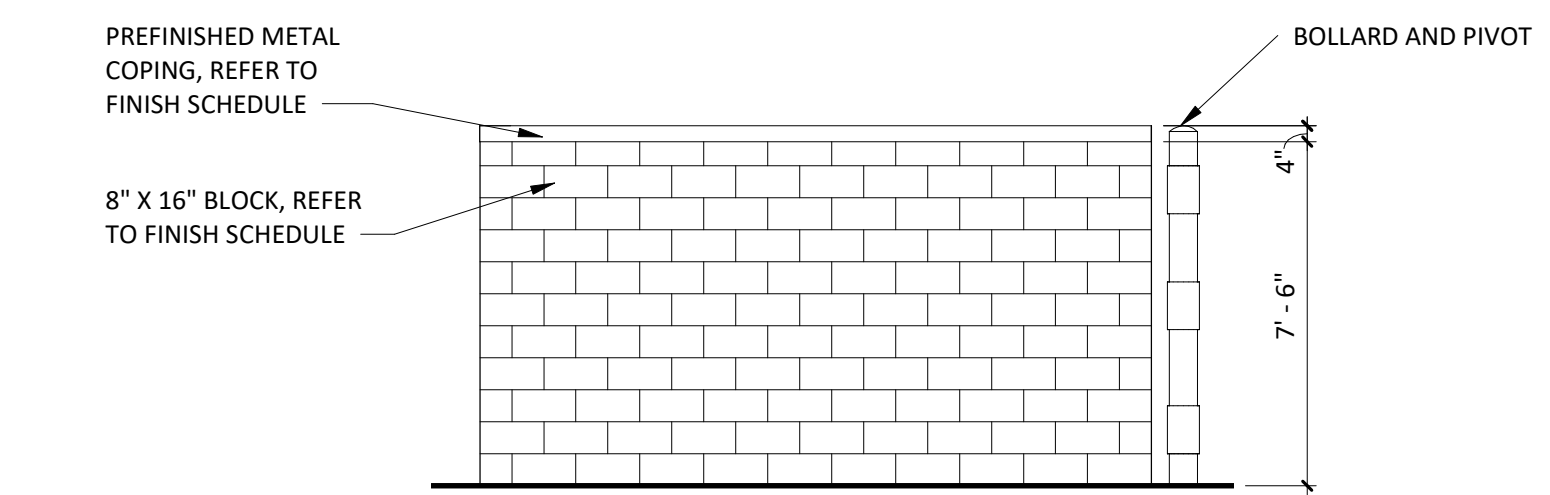
DUMPSTER DOOR PIVOT

1 1/2" = 1'-0"



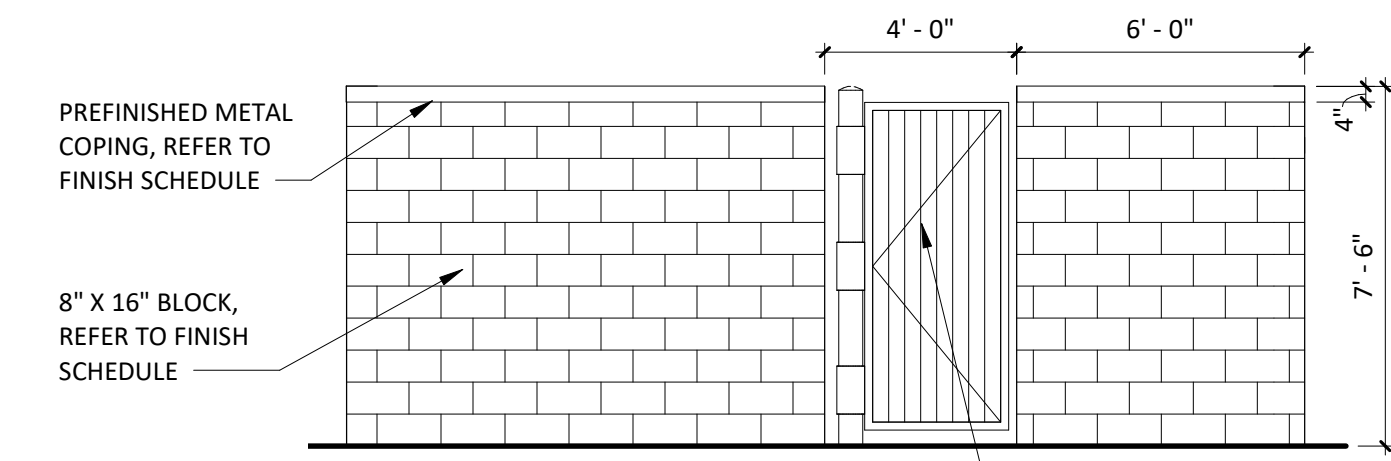
DUMPSTER WALL DETAIL

1 1/2" = 1'-0"



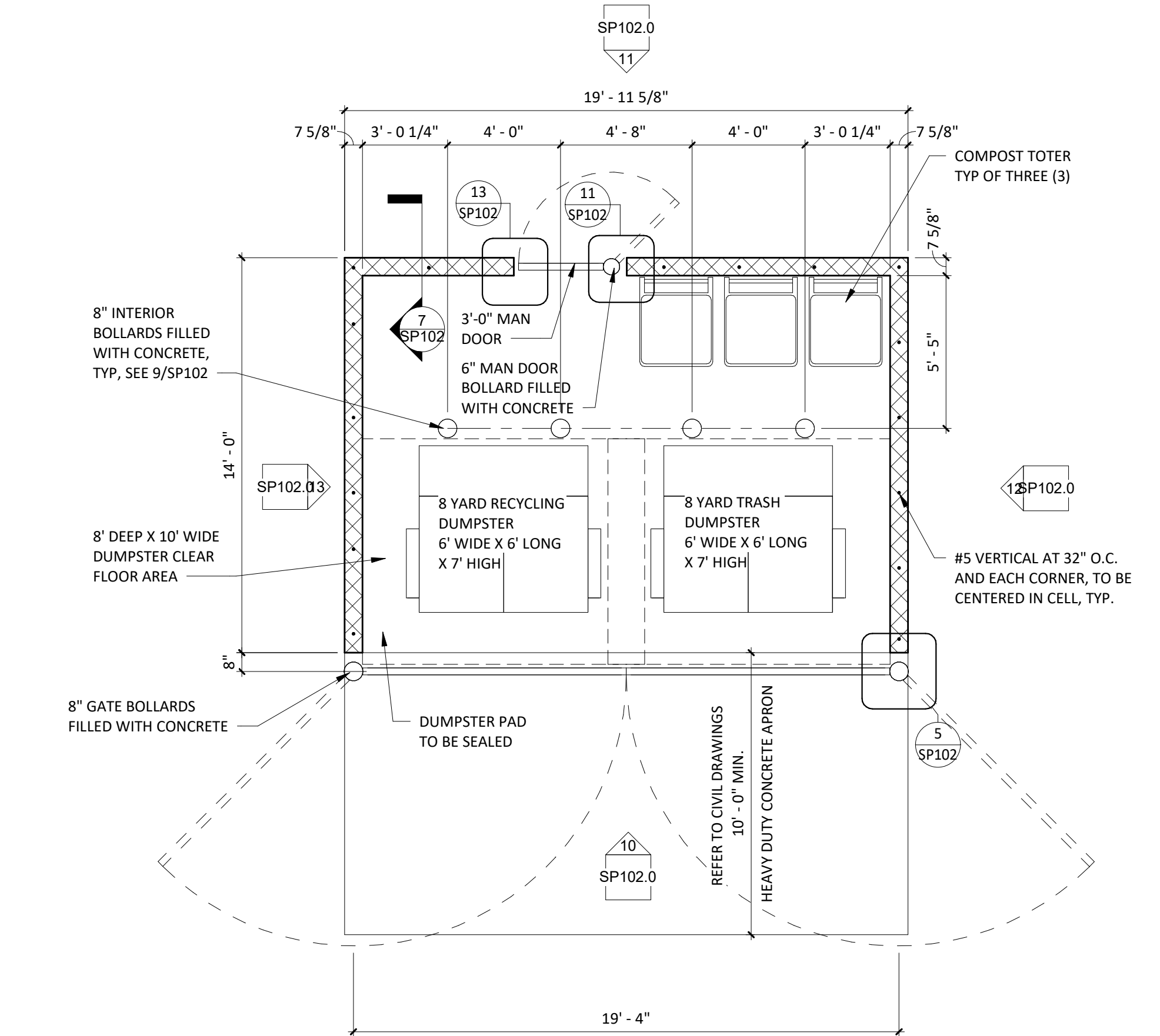
DUMPSTER ELEVATION

1/4" = 1'-0"



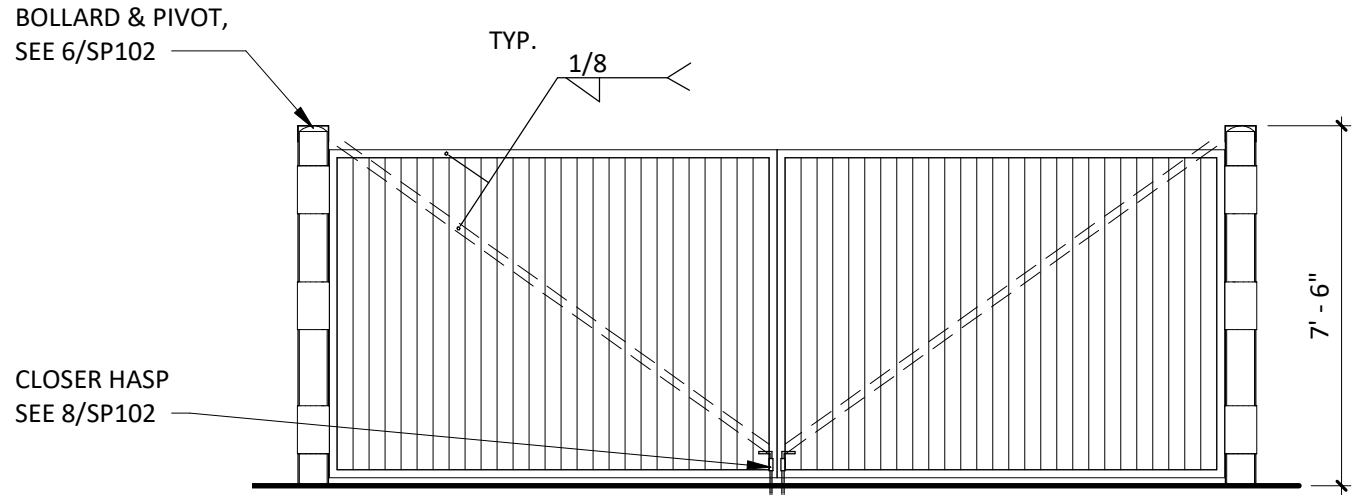
DUMPSTER ELEVATION

1/4" = 1'-0"



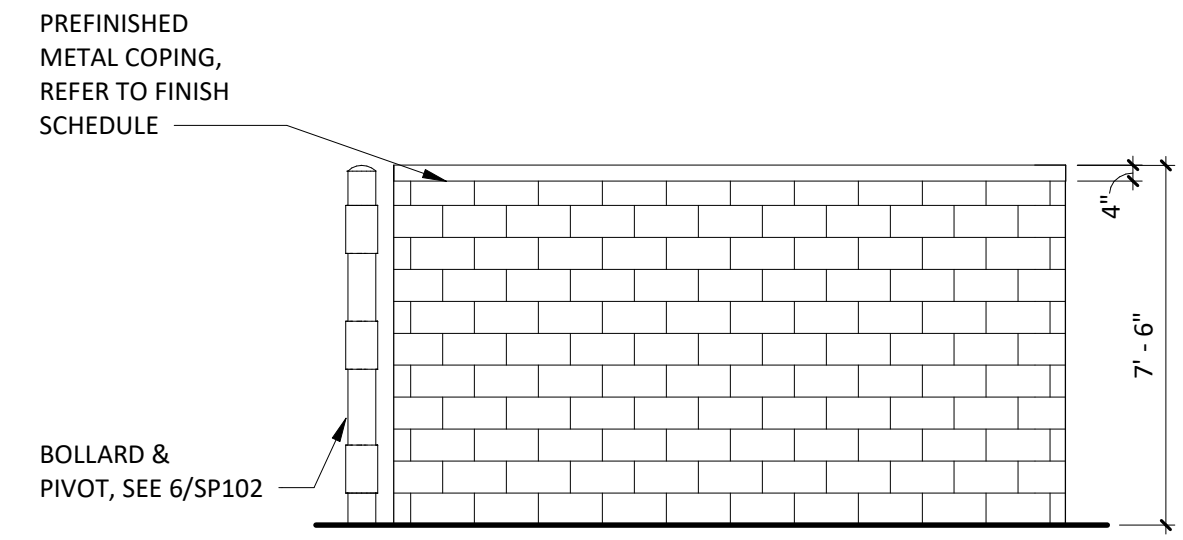
DUMPSTER PLAN

1/4" = 1'-0"



DUMPSTER ELEVATION

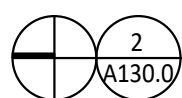
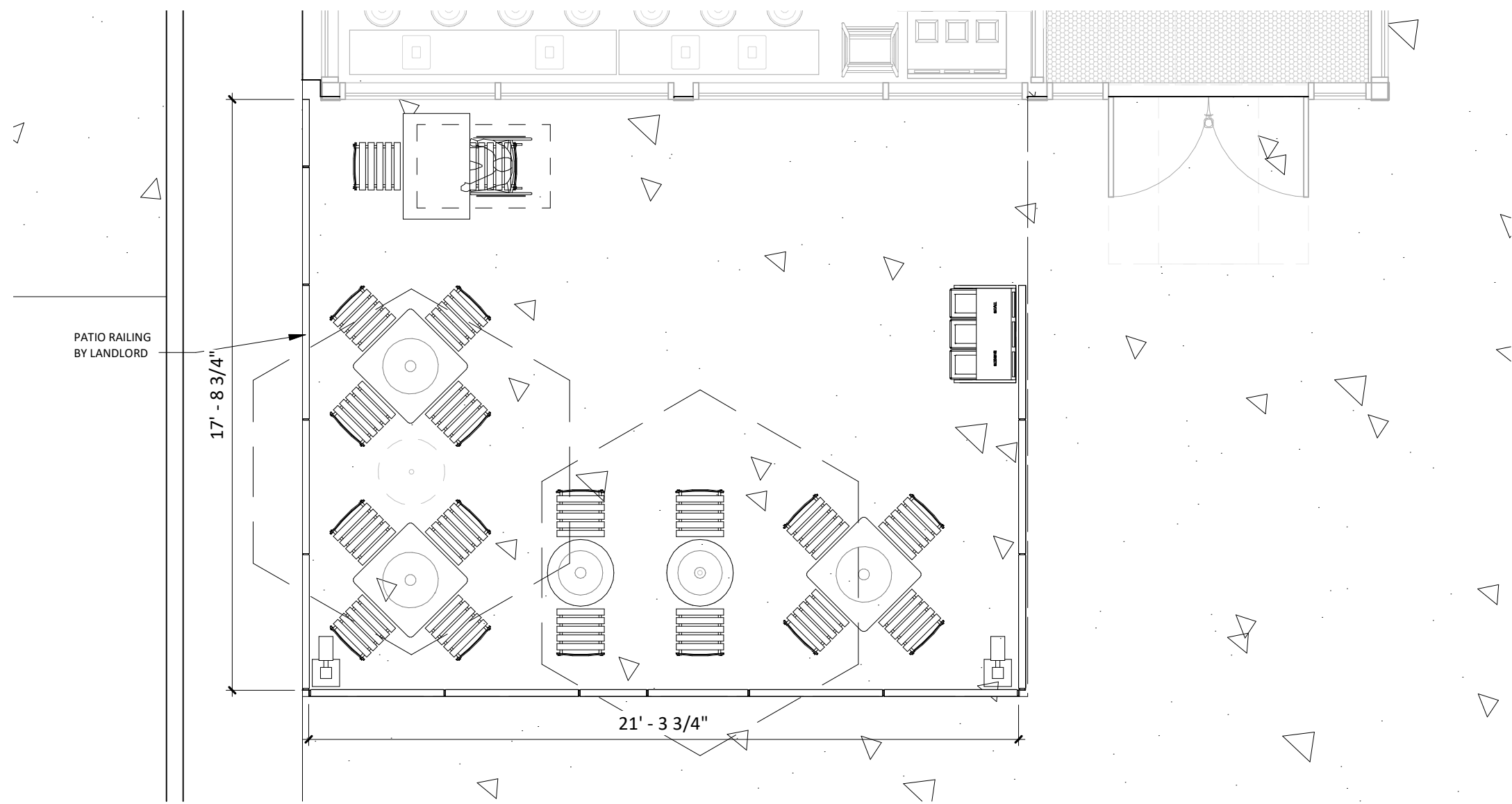
1/4" = 1'-0"



DUMPSTER ELEVATION

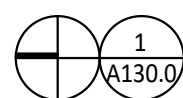
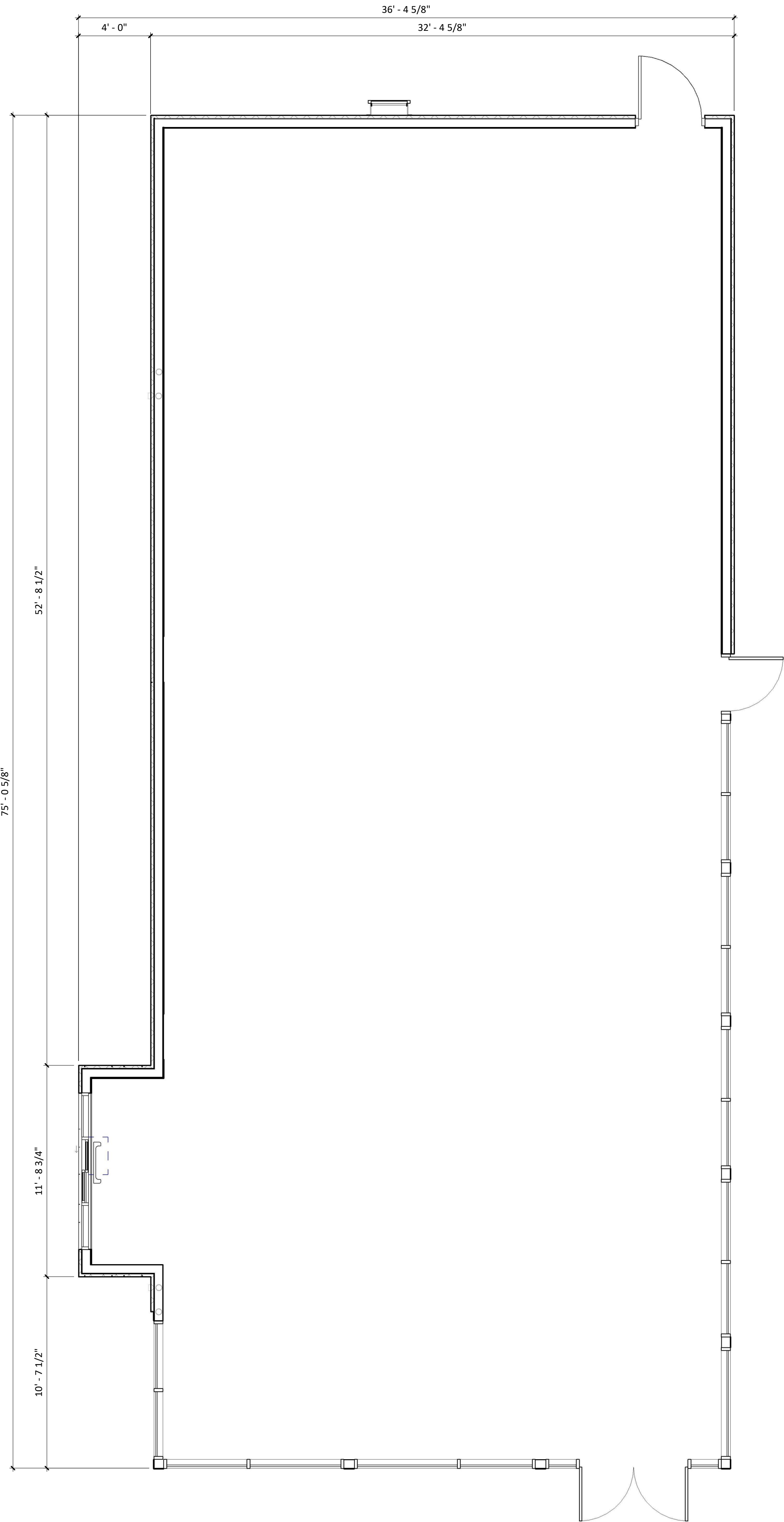
1/4" = 1'-0"





FURNITURE, FIXTURE & EQUIPMENT PATIO PLAN

1/4" = 1'-0"



FURNITURE, FIXTURE & EQUIPMENT PLAN

1/4" = 1'-0"



LINGLE DESIGN GROUP, INC.

LINGLEDESIGNGROUP, INC.  
158 WEST MAIN STREET  
LENA, IL 61048  
1764 BLAKE STREET  
DENVER, CO 80202  
PHONE: 815-369-9155  
FAX: 815-369-4495  
WWW.LINGLEDESIGN.COM

© ALL DRAWINGS AND WRITTEN MATERIAL CONTAINED HEREIN ARE THE  
PROPERTY OF THE LINGLE DESIGN GROUP, INC. THEY MAY NOT BE  
REVISED, COPIED, REPRODUCED, OR DISCLOSED IN ANY MANNER WITHOUT  
WRITTEN AUTHORIZATION FROM THE ARCHITECT.

AUG. 04, 2022

PROJECT #:

CMGXXX

DRAWN BY: EYW

CHECKED BY: CL

02/23/2023 - TRC REVIEW

- △ -
- △ -
- △ -
- △ -
- △ -
- △ -

DERRY SHELL TO SUIT -  
CHIPOTLE MEXICAN GRILL

ADDRESS:

55 CRYSTAL AVENUE  
DERRY, NH 03038

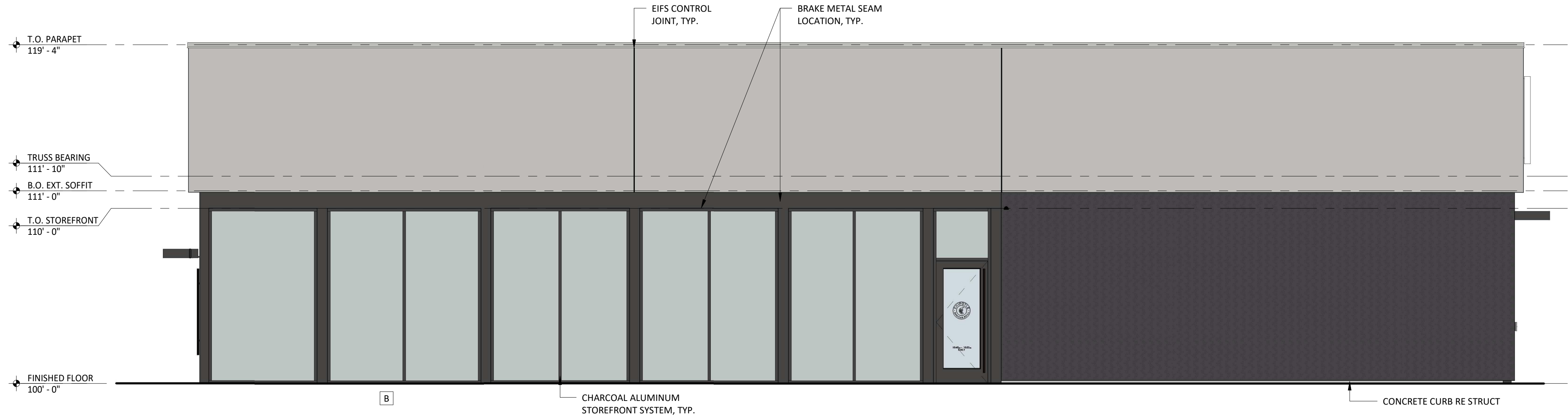
SHEET TITLE:

FLOOR PLAN

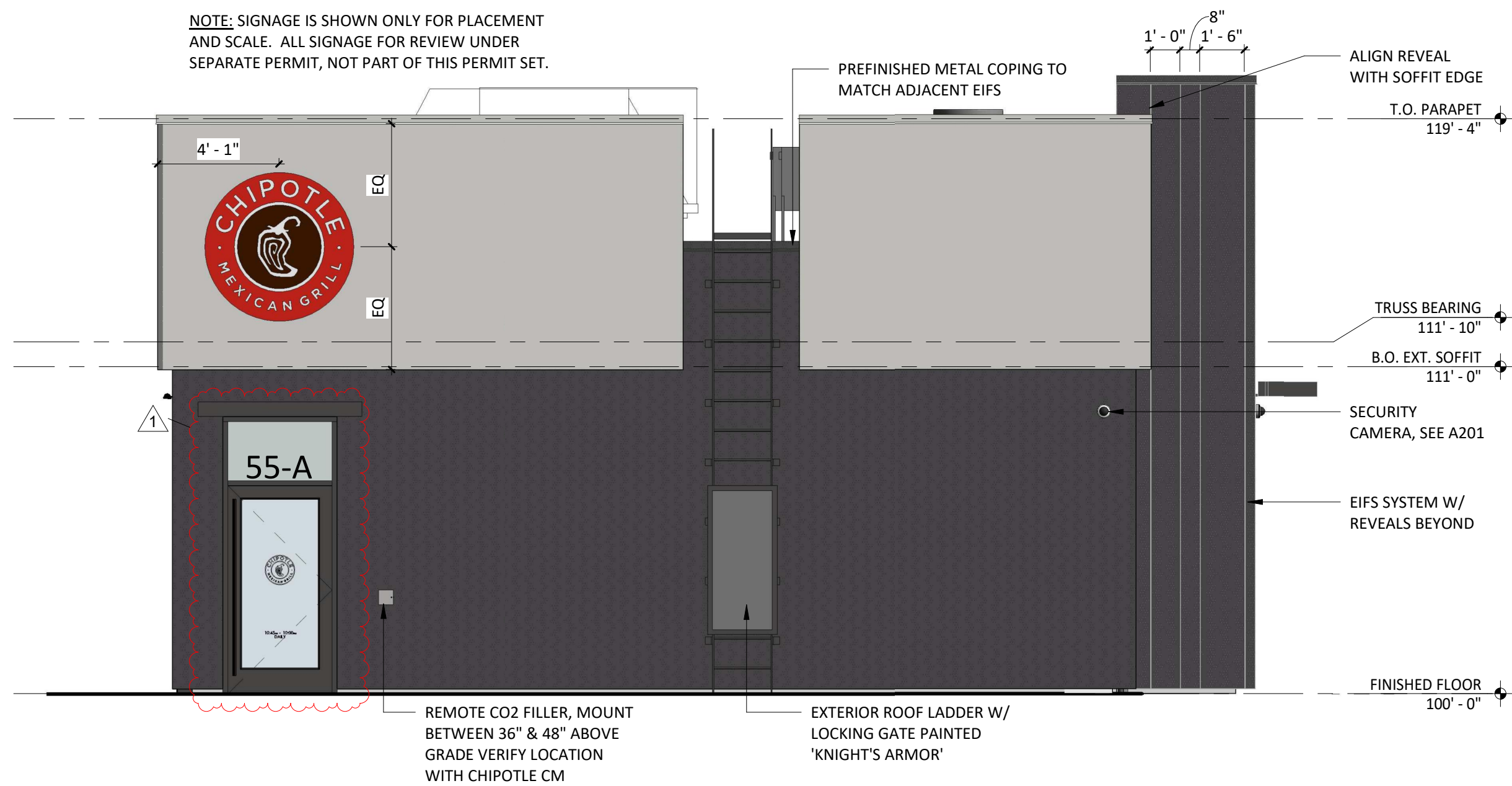
SHEET NUMBER:

A130.0





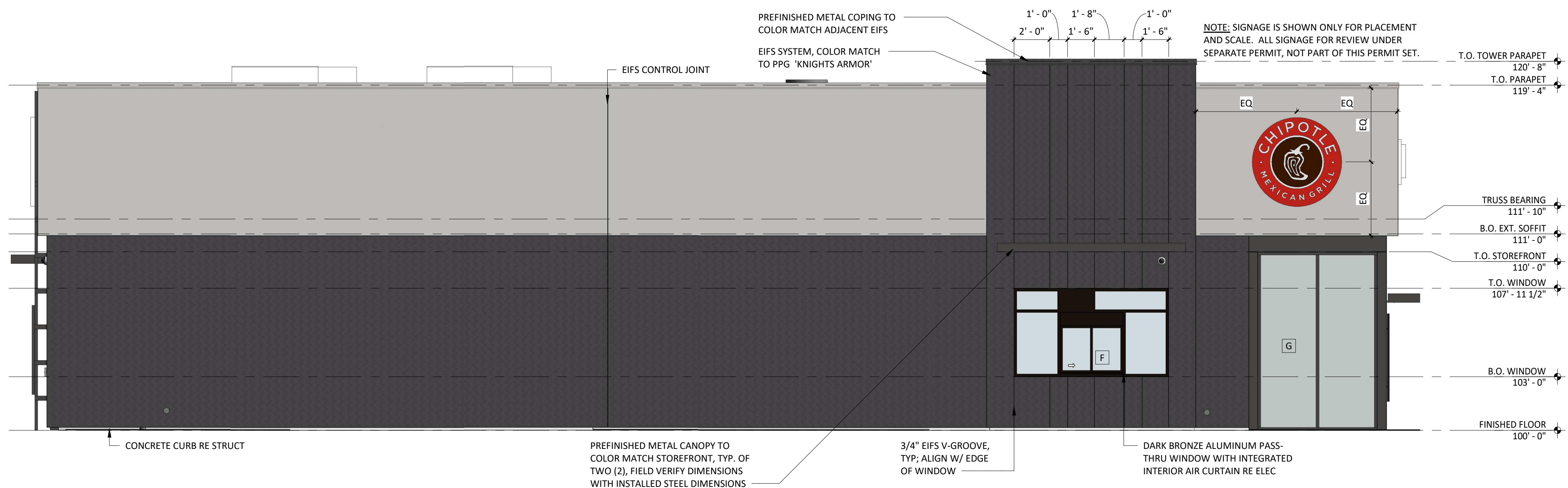
1  
A302  
EXT ELEV - SOUTH  
1/4" = 1'-0"



2  
A302  
EXT ELEV - EAST  
1/4" = 1'-0"



3  
A302  
EXT ELEV - WEST  
1/4" = 1'-0"



4  
A302  
EXT ELEV - NORTH  
1/4" = 1'-0"