

PLAN NOTES

1) THIS PLAN IS BASED ON FIELD CONDITION OBSERVED BY PROMISED LAND SURVEY, LLC ON APRIL 23, 2020.

2) THE WETLANDS WERE DELINEATED BY WEST ENVIRONMENTAL INC., ON APRIL 15, 2020.

3) ZONING — WRB (WEST RUNNING BRROK DISTRICT) SETBACK — MINMUM

FRONTAGE - 50 FEET
FRONT - 10 FEET
SIDE - 10 FEET
REAR - 10 FEET

WETLANDS > 1 AC. IN SIZE - 75 FEET WETLANDS < 1 AC. IN SIZE - 30 FEET

4) THE TOTAL NUMBER OF SHEETS IS TWO (2); SHEET 1 OF 2 WILL BE RCORDED UPON APPROVAL; AND A FULL SET OF PROJECT PLANS IS ON FILE AT THE DERRY PLANNING

CONSTRUCTION NOTES

PROPOSED SITE GRADING

1) GRAVEL ROAD TO LOWER LEVEL SHALL BE GRADED TO DIVERT RUNOFF AWAY FROM THE WETLANDS AT THE BOTTOM OF THE SLOPE. THE WOOD CHIPS ALONG THE EDGE ON THE ROADWAY WILL BE REMOVED AND RE-INSTALLED TO THE EXISTING GRADE WITH SOIL. A JUT MATTING WILL BE INSTALLED TO STABILIZE BERM AND TO AID GROWTH OF GRASSES. A GUARD RAIL WILL BE INSTALLED ALONG THE BASE OF THE BERM FOR VEHICLE SAFETY. HAY BALES AND SILT FENCE WILL BE INSTALLED AT THE BASE OF THE SLOPE TOWARDS THE WEST RUNNING BROOK.

2) AREA "A" — THIS AREA TO BE FILLED AND REGRADED TO A 3 TO 1 SLOPE OR SIMILAR. HAY BALES AND SILT FENCE SIMILAR WILL BE INSTALLED AT THE BOTTOM OF THE SLOPE DURING FILLING AND REGRADING OPERATIONS. A JUT MATTING WILL BE INSTALLED TO STABILZE THE EXPOSED SOIL AND TO AID IN ESTABLISHING A

3) AREA "B" — GRAVEL WORK AREA. THIS AREA WILL BE GRADED TO PROMOTE RUNOFF TOWARDS THE BACK OF THE LOT.

4) AREA "C" — PAVED WORK AREA. AREA TO BE GRADED TO PROMOTE RUNOFF TOWARDS THE PROPOSED STORMWATER TREATMENT

5) AREA "D" — PARKING DRIVEWAY AND PARKING AREA. GRADE TO PROMOTE RUNOFF TOWARDS THE PROPOSED STORMWATER TREATMENT

LANDSCAPING

1) AREA "A" — AFTER FILLING AND REGRADING A JUT MAT SHALL BE PLACE ON ALL EXPOSED SOIL. VARIOUS EVERGREENS AND GRASSES TO BE PLANTED TO STABLIZE THE SLOPES.

2) AREA "B" — ALL EXPOSED SOIL AS A RESULT OF REGRADING SHALL COVERED WITH A JUT MATTING PRIOR TO STABLISHING A VEGETATIVE COVER. EVERGREEN PLANTS OR SIMILAR TO BE ALONG THE TOP OF THE SLOPE.

3) NO MATERIAL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (ARG3800 TABLE 3800.1) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITES WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSIRE DEPARTMENT OF AGRICULTURE PER RSA 430.55

4) DERRY CONSERVATION COMMISSION URGES THE APPLICANT TO MITIGATE INVASIVE VEGETATION ON THE PARCEL USING APPROPRIATE CONTROL MEASURES PURSUANT TO STATE RULES AND GUIDELINES.

LEGEND

LEGEND								
		BOUND		MAILBOX/PAPER BOX				
		CATCH BASIN	(S)	SEWER MANHOLE				
	225	CONDUIT	9	SHRJ8				
				SIGN				
	14	ELECTRIC METER	*	TREE - DÉCIDIOUS				
		GUYWIRE						
	24	HYDRANT-FIRE	ಲ	UTILITY POLE				
	0	IRON PIPE/REBAR	Ñ	WATER CATE				
	1.1	LIGHT POST	*ੱ	WATER SHUTOFF				
				LINE PAVEMENT				
			GUARDRAI					
			OVERHEA:	ELECTRIC				
		Transportation of Assessment of Street	RETAINING	WALL				
		- s - s - s - s -	SEWER LI	NE				
			SILT FENC	Œ				
		3~~~~~~~	TREE LINE	Ξ				
		- y y s s	WATER LI	NE				
			WETLAND					
			BUILDING					
			CONCRETE					
		× × × ×	CRUSHED	STONE				
			LANDSCAP	ING				

PUBLIC WORKS DIRECTOR: MLC 5/17/21	
CODE ENFORECMENT OFFICER: That May 5-18-21	
DERRY FIRE DEPARTMENT: Jan G. Gast Je 3/1/2	
CONSERVATION COMMISSION CHAIR:	
POLICE DEPARTMENT:	

	THE DERRY PLANNING BOARD
	ON DATE:
_	CERTIFIED BY: CHAIRMAN

EROSION AND SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE NH STORMWATER MANUAL, DATED 2008 AND THE CURRENT STATE AND 1

2) MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWING(S) INDICATE MINIMUM RECOMMENDED PROVISIONS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL SELECTION AND PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS BASED ON ACTUAL SITE CONDITIONS AND CONSTRUCTION CONDITIONS. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORESEEN EROSION PROBLEMS, OR AS DIRECTED BY CONTROLLING AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER.

3) AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF THE PROPOSED DEVELOPMENT AS INDICATED ON THE PLAN PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.

SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND

5) AFTER ANY SIGNIFICANT RAINFALL (GREATER THAN 0.25 INCHES OF RAINFALL WITHIN 24 HOURS), SEDII

6) PERIODIC INSPECTIONS AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED I ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTROLOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF FACIL WORKING DAY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT FROM ENTERING ANY STOR DRAINAGE SYSTEM AND FROM BEING CONVEYED TO ANY WETLAND RESOURCE AREA, PUBLIC WAYS

8) ALL STOCKPILES SHALL BE PROTECTED AND LOCATED WITHIN THE LIMIT OF WORK.

9) ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEPT AT THE END OF EACH WORKING DAY.

10) ALL SEDIMENT RETIANED BY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LEGALLY DISPOSED.

11) ANY DENUDED SURFACE THAT WILL BE EXPOSED FOR A PERIOD OF 14 CALENDAR DAYS OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE STABILIZED/PROTECTED WITH APPROPRIATE EROSION CONTROL MATTING OR OTHER EROSION CONTROL METHODS.

12) DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHHODS AS DIRECTED BY THE PERMITTING AUTHORITY OR OWNER.

13) THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE. STOCKPILES THAT WILL BE EXPOSED FOR LONGER THAN 14 DAYS SHALL BE STABILIZED.

14) ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT), UNLESS OTHERWISED NOTED.

575 EROSION CONTROL BLANKETS (OR AN EQUIVALENT), UNLESS OTHERWISED NOTED.

15) THE CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON—SITE (LE. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS.

16) THE CONTRACTOR IS SOLEY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE STE. THIS PLAN DO NOT EXTEND TO OR INCLUDE METHODS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THIS PLAN DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THIS PLAN. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRAITE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REQUIREMENTS.

17) THECONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY THEIR CONSTRUCTION WORK AT AL TIMES.

PROPOSED BUILDING AND PARKING

1) THE PROPOSED NEW BUILDING TO BE 60' X 100'.

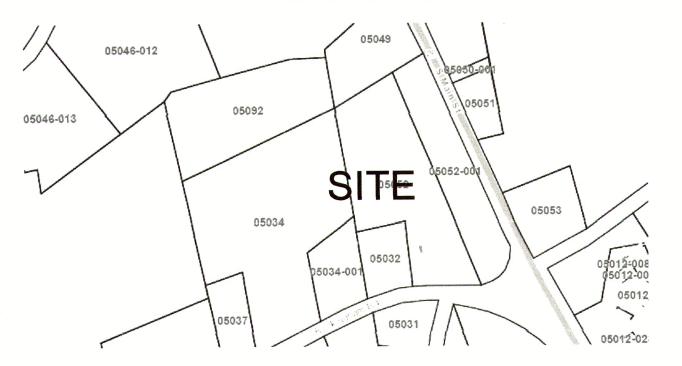
2) EXISTING DWELLING TO BE DEMOLISHED AND CONSTRUCTION

DEBRIS TO BE DISPOSED OF OFF-SITE AT AN APPROVED FACILTY.

 EXISTING SEWER AND WATER SERVICES TO BE USED WITH NEW BUILDING. THEY MAY BE REQUIRED TO BE REPLACED AND OR UPGRADED.

4) ALL PARKING SURFACES, AISLES AND DRIVES SHALL BE PAVED WITH A MINIMUM THICKNESS OF THREE INCHES OF HOT BITUMINOUS PAVEMENT (TWO INCH BINDER AND ONE INCH WEARING COURSE.

5) ALL PARKING PAVEMENT SHALL BE PLACED ON A COMPACTED FRAVEL SURFACE CONSISTING OF A MINIMUM OF 4 INCHES OF CRUSHED GRVELS PLACED OVER A MINIMUM THICHNESS OF EIGHT INCHES OF BANL RUN GRAVEL.



SHEET 1 OF 3 PROPOSED SITE IMPROVEMENTS

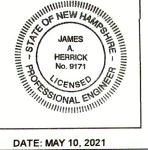
 CLIENT: TREE LINE PROPERTY SERVICES LLC
 PHONE #: CELL : 603 475-1941

 182 ISLAND POND ROAD DERRY, NH 03038
 WORK : EMAIL : tom@treelinenh.com

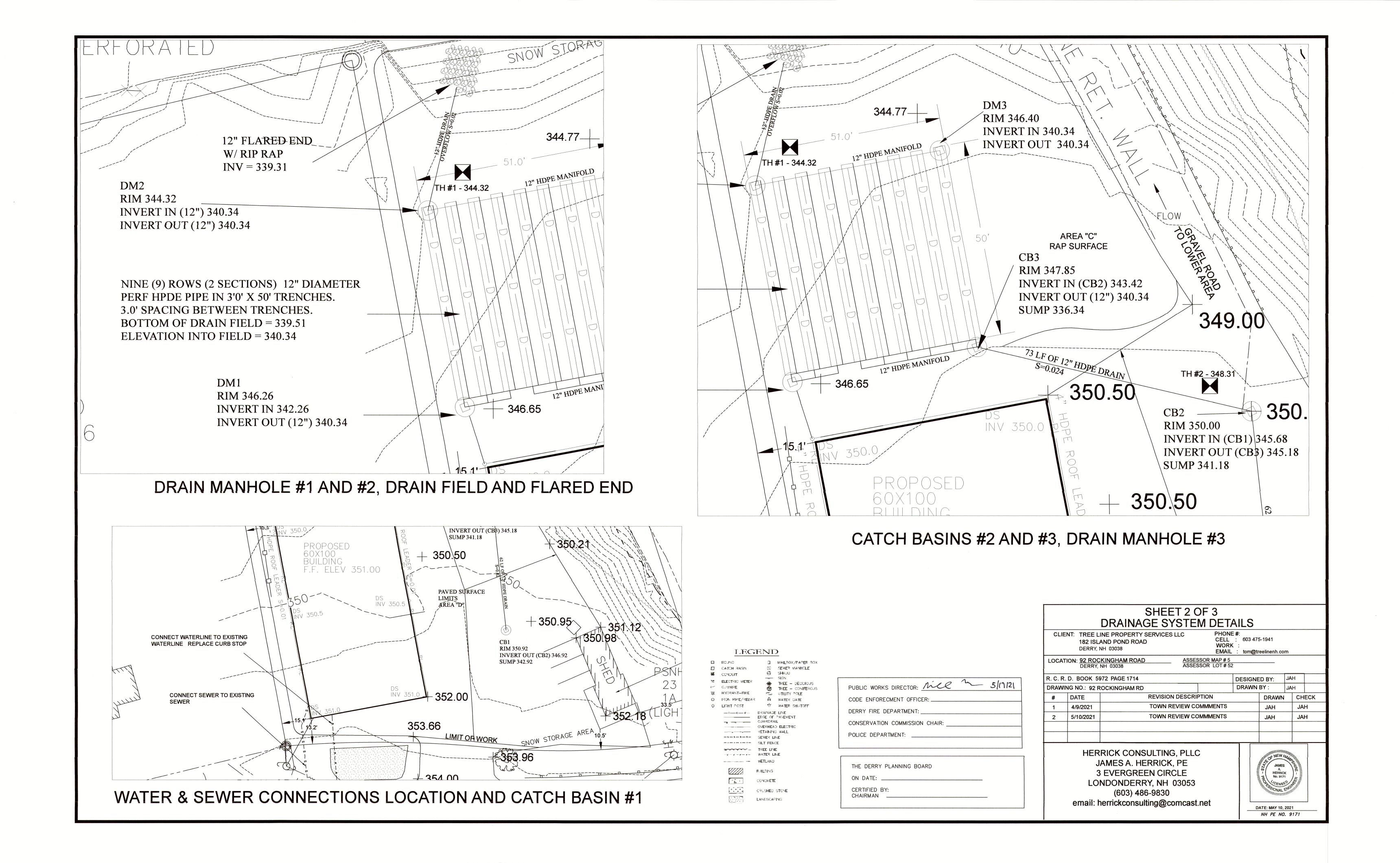
 LOCATION: 92 ROCKINGHAM ROAD DERRY, NH 03038
 ASSESSOR MAP # 5 ASSESSOR LOT # 52

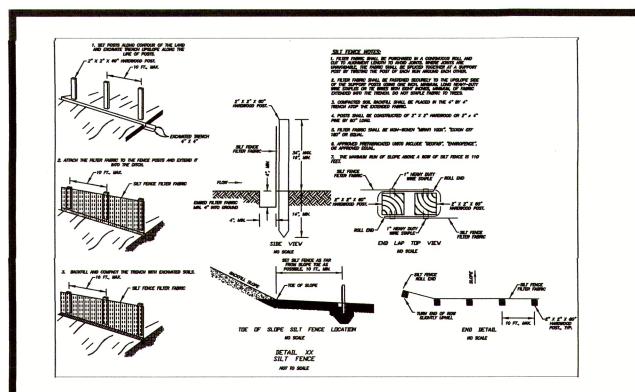
R. C. R. D. BOOK 5972 PAGE 1714				PRAWN BY: JAH REVISION DESCRIPTION TOWN REVIEW COMMMENTS DRAWN CHECK TOWN REVIEW COMMMENTS JAH JAH TOWN PER (FM COMMMENTS)			
DRAWIN	IG NO.: 92 R	OCKINGHAM RD		DRAWN	VN BY :		
#	DATE	PTION	DRAWN		С	CHECK	
1	4/9/2021	TOWN REVIEW CO	MMMENTS		JAH	J	AΗ
2	5/10/2021	TOWN REVIEW CO	MMMENTS		JAH		AH

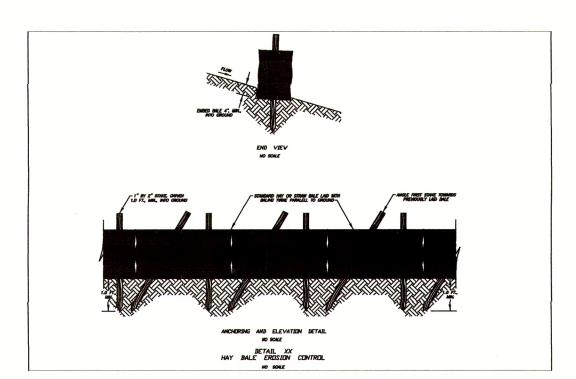
HERRICK CONSULTING, PLLC
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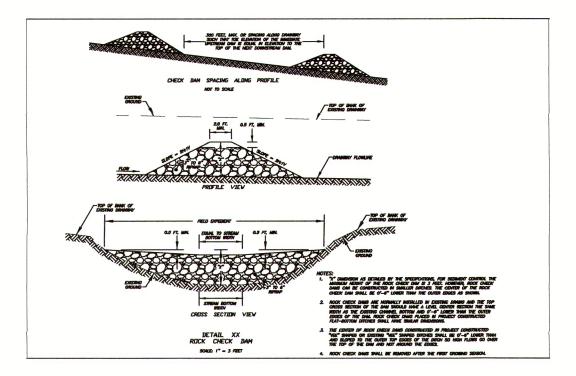


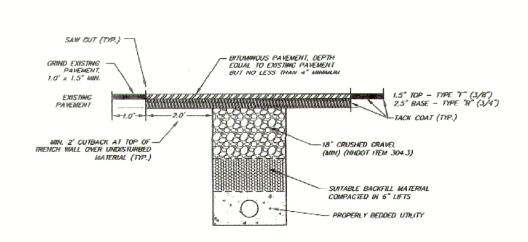
NH PE NO. 9171

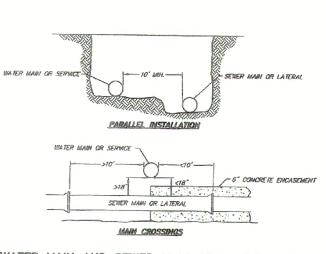




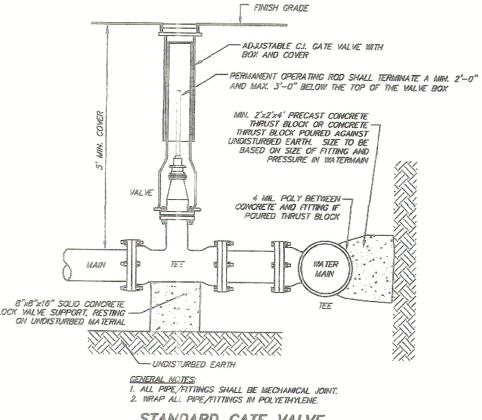




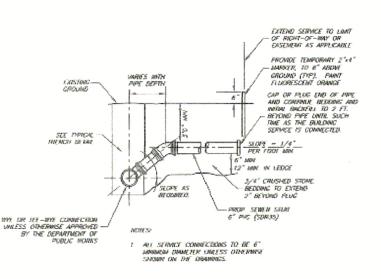




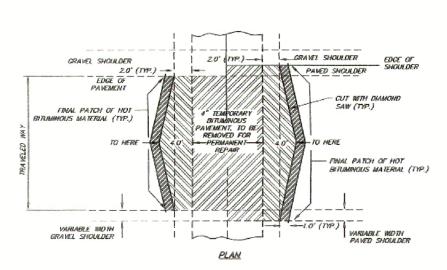
WATER MAIN AND SEWER MAIN SEPARATION DETAIL



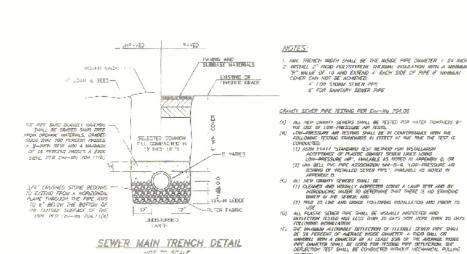
STANDARD GATE VALVE NOT TO SCALE

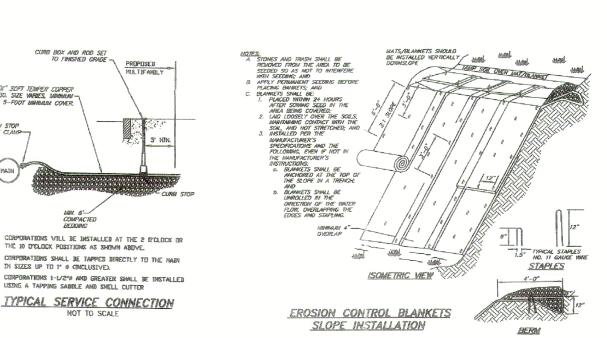






TYPICAL PERMANENT PAVEMENT REPAIR

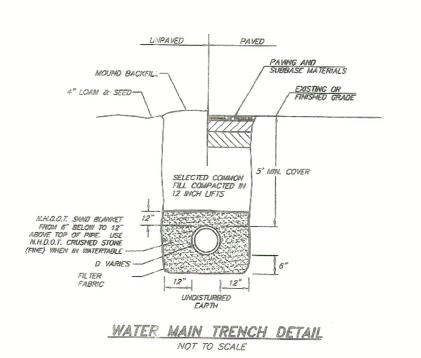


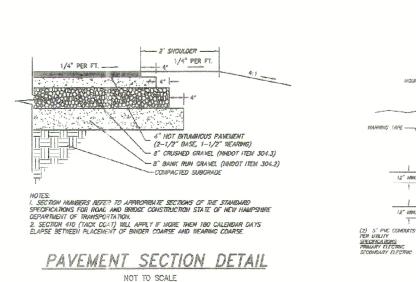


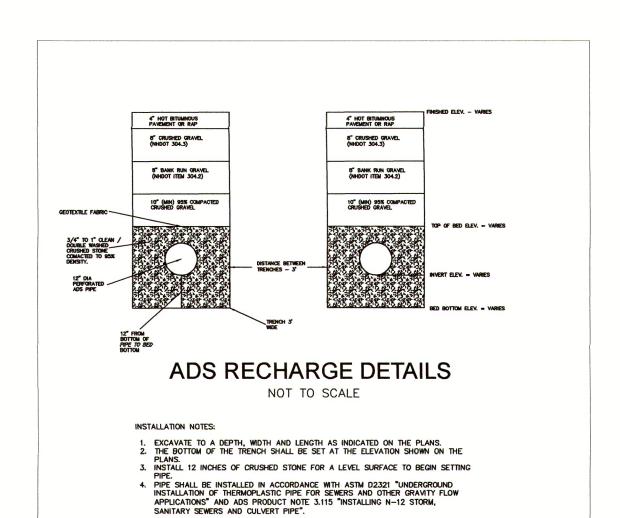
CORPORATIONS SHALL BE TAPPED BIRECTLY TO THE MAIN IN SIZES UP TO 1° # (INCLUSIVE).

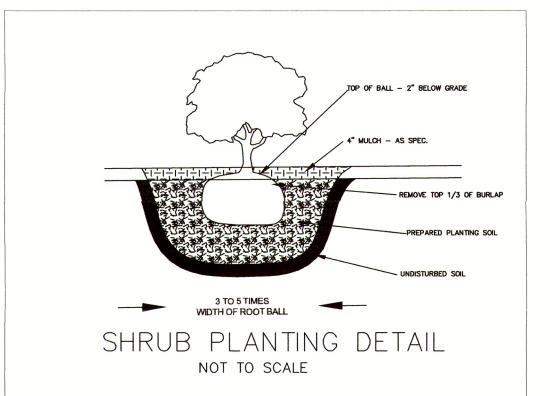
TYPICAL SERVICE CONNECTION

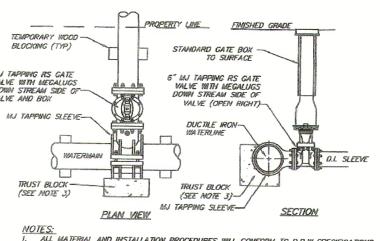
NOT TO SCALE











NOTES:

1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W SPECIFICATIONS.

2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5-FEET FROM TOP OF PIPE TO FINISH GRADE. MIN. 2'x2'x4' PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH D.P.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH — SIZE BASED ON SIZE OF FITTING AND PRESSURE IN WATERMAIN. WET TAP TEE INSTALLATION

ALL OPENINGS TO BE CAST
NOTO STRUCTURE: BOOT OR
WATER TIGHT WORTAR JOINT
SHALL BE PROVIDED AT ALL—
PIPE TO STRUCTURE
CONNECTIONS (TYP.)

OR COMPACTED FILL

5" MIN. COMPACTED — 3/4" CRUSHED STONE (12" MIN. IN BEDROCK)

DRAIN MANHOLE MOTES:

SEE PAVEMENT SECTION FOR PAVEMENT AND GRAVEL RECURREMENTS

EXISTING OR

TRANSMICO GRADE

(TYP) UNDISTURBED EARTH

(2'-6" MML)

UTILITY TRENCH DETAIL

MANHOLE IN MANHOLE IN NON-PAVED AREAS PAVEMENT OR STONE

DRAINAGE MANHOLE DETAIL

-BUILDING DOMINSPOUT, SEE ARCH, DWGS.

EXTEND HOPE ROOF CHAIN LEAGER 3" TO 6" ABONE FINISHED SURFACE TREATMENT ELEVATION

- SURCHARGE PRY

SPLASH IN OOK

- ROOF DHAIN LEADER TO BE SAND BACKINGS

1.03T ARM ----

4" DM. 45" HOFY BEND FITTING

ROOF DRAIN LEADER WITH OVERFLOW

BRICKS TO BE USED TO ACHEVE FINISH
FRAME AND GRATE ELEVATION. I BRICK
UNIMIUM, 12" MAXIMUM. FRAME TO BE
SET IN FULL BED OF MORTAR (TYP)

PAVEMENT AS SPECIFIED

POLYETHYLENE LINER -REQUIRED ALL CONES SHALL BE— ECCENTRIC TYPE ONLY "ELMINATOR" CATCH BASIN HOOD, AS SUPPLIED BY PHOEINS PRECAST CONCRETE, 77 REGIONAL DRIVE, CONCORD, NH (OR APPROVED EQUAL) MORFAR ALL FREGAST LIFTING HOLES PRIOR TO BACKFILLING (TYP.) EXISTING SUBGRADE OR COMPACTED FILL CATCH BASIN MOTES: WHERE DEPTH EXCEEDS 12 FT., USE 5'-O" DIAMETER (MIN.) MAXIMUM DEPTH = 18 FEET.
 MINIMUM PIPE ORDY (BILET TO OUTLET SHALL BE 3" UNLESS OTHERWISE APPROVED BY THE DEPTAMENT OF PUBLIC WORKS AND ENGINEERING.
 ALL BOOTS, OKSETS, AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WITTEN INSTRUCTIONS.

CATCH BASIN DETAIL:

TEST PIT DATA

TEST PIT NO. 1 ELEV. = 999.99

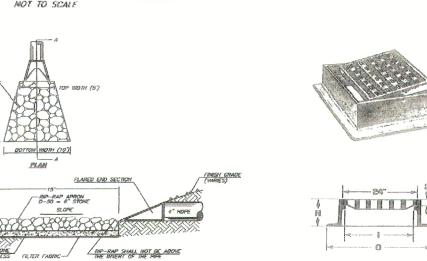
0" - 5" A 10 YR 3/2 SANDY LOAM 5" - 21" B 10 YR 7/2 LOAMY SAND 21" - 84" C 10 YR 4/2 SAND & GRAVEL ESHWT @ GREATER THAN 84" NO LEDGE

TEST PIT NO. 2 ELEV. = 999.99

0" - 5" A 10 YR 3/2 GRAVEL 5" - 21" B 10 YR 7/2 SAND & GRAVEL OR FILL 21" - 72" C 10 YR 4/2 SAND & GRAVEL OR FILL ESHWT @ GREATER THAN 72" NO LEDGE

UTILTY NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF DERRY AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGES CONSTRUCTION, STATE OF NEW HAMSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
- 2. THE CONTRACTOR SHALL BE REPONSIBLE FOR VERIFING AND DETERMINING THE LOCATION, SIZE AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG-SAFE" AT 1-888-344-7233 AT KAEST 72 HOURS BEFORE
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OD SAID UTILITIES.
- 4. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE, SMOOTH INTERIOR, OR APPROVED EQUAL, UNLESS NOTED ON THE PLAN. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS. REFER TO THE PLAN FOR DRAINAGE RIMS, INVERTS & PIPE SLOPES.
- 5. ALL ROOF DRAINS FROM THE BUILDING SHALL BE CONSTRUCTED TO EITHIN 5' OF THE OUTSIDE OF THE BUILDING LIMITS AS SHOWN ON THE PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES. NO FOUNDATION DRAINS, ROOF DRAINS, FLOOR DRAINS SHALL BE CONNECTED TO THE MUNICIPAL SEWER.
- 6. ALL DRAINAGE AND SANITARY SEWER STRUCTURE INTERIOR DIAMETERS SHALL BE A MINMUM OF 4 FEET. CATCH BASINS SHALL HAVE 3' DEEP SUMPS WITH HOODS, UNLESS OTHERWISE NOTED. ALL STRUCTURES SHALL MEET HEAVY DUTY H-20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- 7. THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED TOWN OF DERRY PUBLIC WORKS AND ENGINEERING DEPARTMENT PERSONNEL BEFORE ANY BACKFILLING.
- 8. SEWER MAINS TO E 8" SDR 35 PVC MEETING ASTM D3034 OR APPROVED EQUIVALENT. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SEWER CONSTRUCTION SPECIFICATIONS AND THE TOWN OF DERRY DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS. THE MINIMUM SEWER TRENCH WIDTH SHALL BE AT LEAST 2 TIMES OUTER DIAMETER OF THE PIPE.
- 9. WATER MAINS TO BE 6" CLASS 52 CEMENT LINED DUCTILE IRON PIPE OR EQUIVALENT. WATERLINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF DERRY DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 10. ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY COMPANY SPECIFICATIONS.



4" DIA. 45" HOPE BEND FITTING



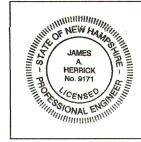


THE DERRY PLANNING BOARD
ON DATE:
CERTIFIED BY: CHAIRMAN

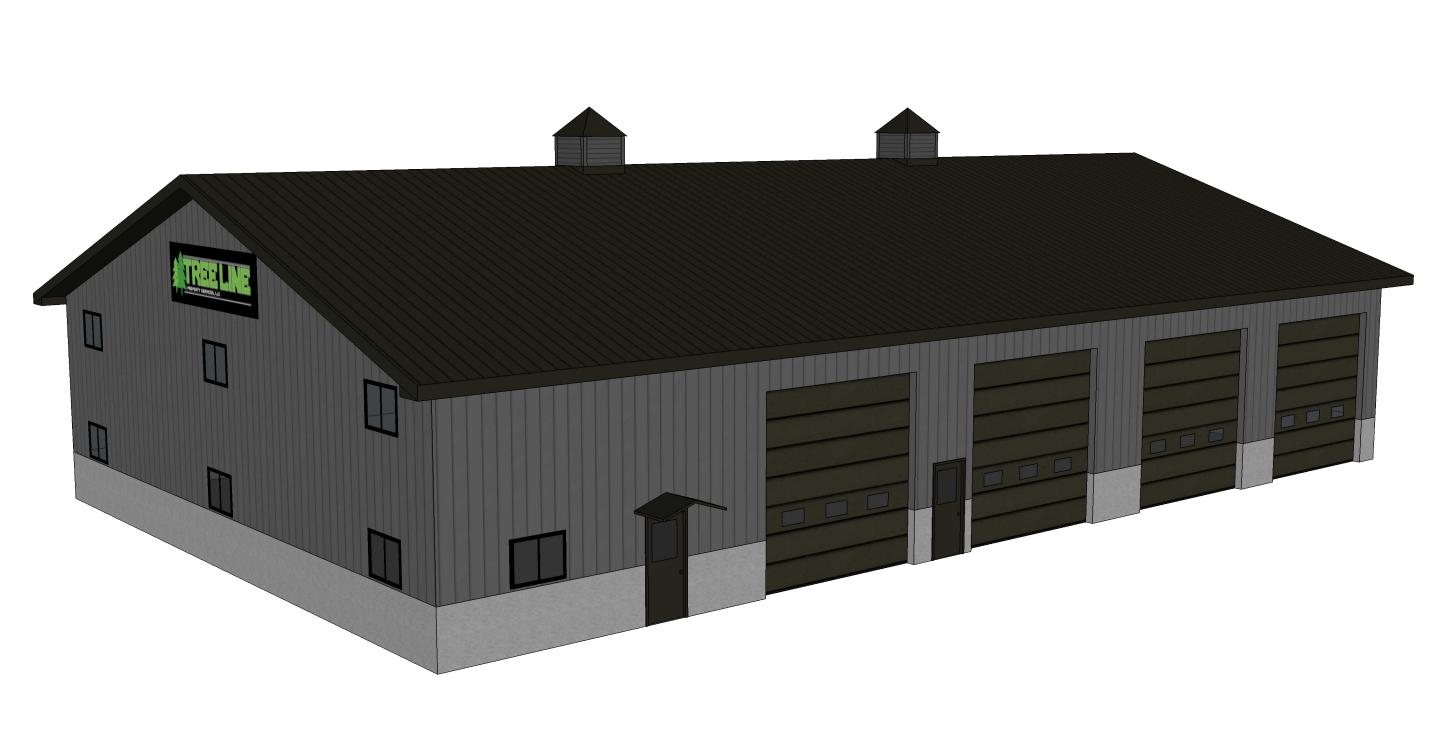
SHEET 3 OF 3 DETAILS						
CLIENT: TREE LINE PROPERTY SERVICES LI 182 ISLAND POND ROAD DERRY, NH 03038	C PHONE #: CELL: 603 475-1941 WORK: EMAIL: tom@treelinenh.com					
LOCATION: 92 ROCKINGHAM ROAD DERY, NH 03038	ASSESSOR MAP # 5 ASSESSOR LOT # 52					

R. C. R	R. C. R. D. BOOK 5972 PAGE 1714				DESIGNED BY:			
DRAW	ING NO.: 92 R	ROCKINGHAM RD		DRAWN	BY:	JAH		
#	DATE	REVISION DESCRIPTION			DRAWN	CH	HECK	
1	1 4/9/2021 TOWN REVIEW COMMMENTS				JAH		JAH	
2	5/10/2021	TOWN REVIEW CO		JAH	JA	Н		

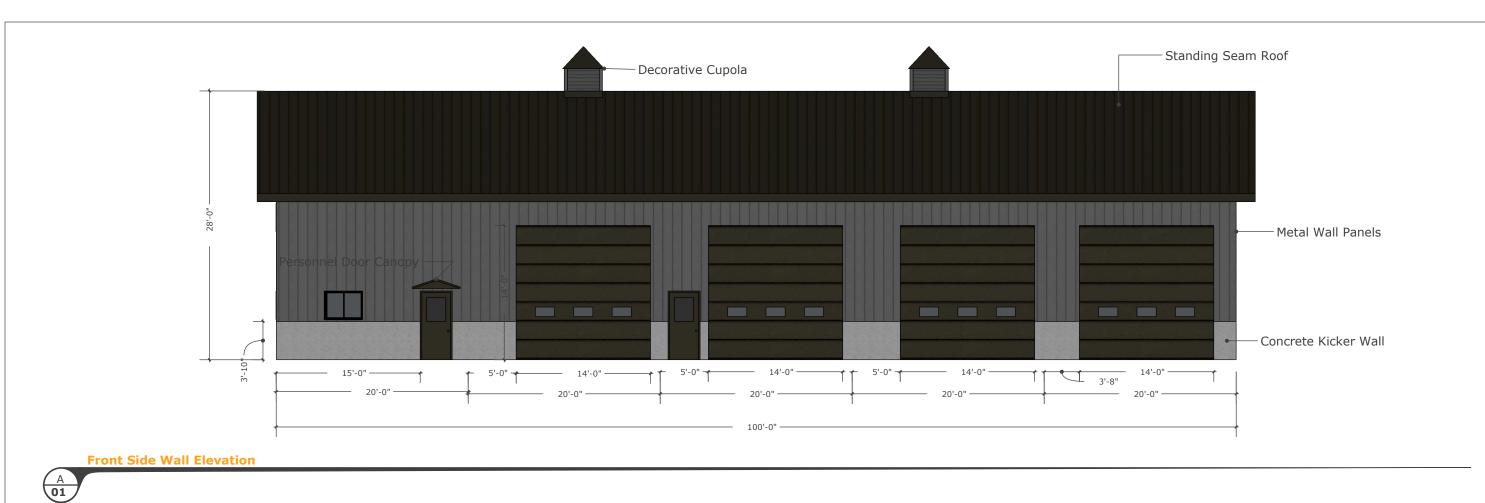
HERRICK CONSULTING, PLLC JAMES A. HERRICK, PE 3 EVERGREEN CIRCLE LONDONDERRY, NH 03053 (603) 486-9830 email: herrickconsulting@comcast.net



DATE: MAY 10. 2021 NH PE NO. 9171



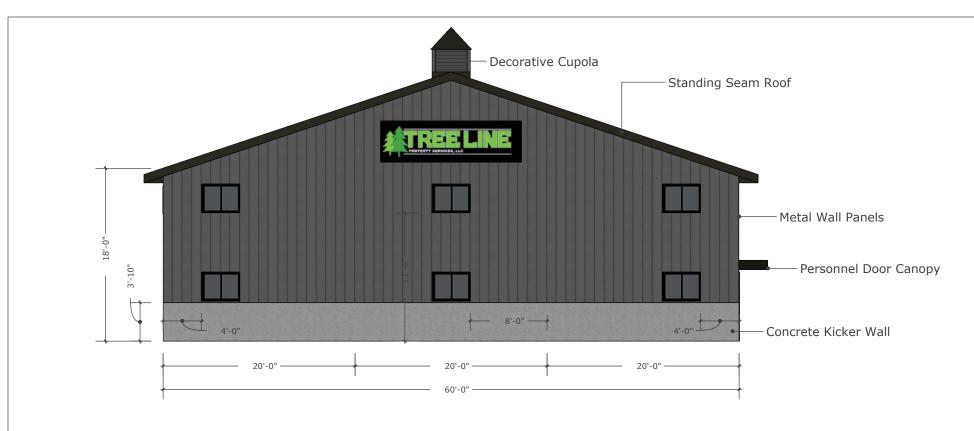




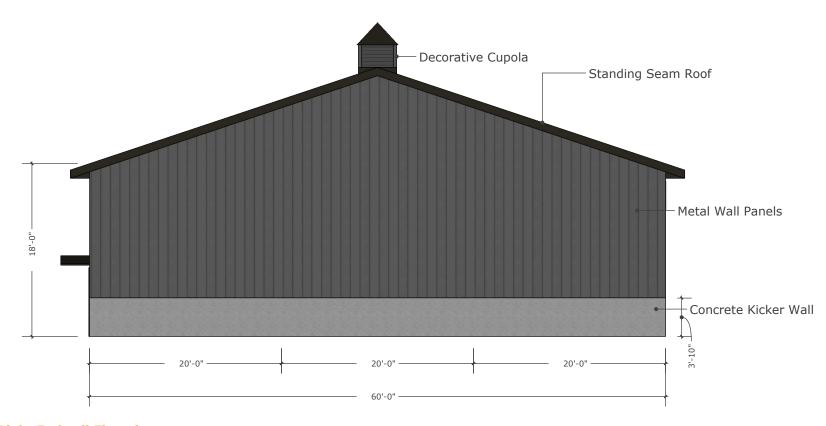


February 16, 2021

A 02



Left Endwall Elevation



Right Endwall Elevation

(A)