

LEGEND

	EXISTING	PROPOSED
EDGE OF PAVEMENT	—	—
PROPERTY LINE	—	—
STONE WALL	—	—
REBAR	○	○
BOUND	□	□
EASEMENT LINE	---	---
BUILDING SETBACK LINE	---	---
ZONING LINE	---	---
TOWN LINE	---	---
DERRY PROPERTY MAP	DPM	
WINDHAM PROPERTY MAP	WPM	
TEMPORARY BENCH MARK	TBM	
CONTOURS	—	—
SPOT ELEVATIONS	X 152.65	152.65
TREE LINE	—	—
CHAIN LINK FENCE	—	—
OVERHEAD UTILITIES	O/E&T	—
UNDERGROUND CABLE	---	PU/E&T
SANITARY SEWER	S	PS
FORCE MAIN	---	PFM
WATER LINE	---	PW
GAS LINE	---	PG
CATCH BASIN	■	■
DRAIN MANHOLE	⊙	⊙
WATER MANHOLE	⊙	⊙
SEWER MANHOLE	⊙	⊙
WATER GATE	⊙	⊙
FIRE HYDRANT	⊙	⊙
PROPANE TANK	⊙	⊙
BOLLARD	●	●
UTILITY POLE	⊙	⊙
ACCESSIBLE PARKING	⊙	⊙
DRILLED WELL	⊙	⊙
TEST PIT	⊙	⊙
ELECTRIC METER	⊙	⊙
GAS REGULATOR	⊙	⊙
GUY POLE	⊙	⊙
UTILITY POLE W/ STREET LIGHT	⊙	⊙
TELEPHONE MANHOLE	⊙	⊙
DRAINAGE FLOW ARROWS	→	→
SILT SOCK	→	→
FLOOD LIGHT	→	→
TRAFFIC FLOW ARROWS	→	→
SIGN	→	→
RIPRAP	→	→
SOILS BOUNDARY	---	---
HISS SOIL IDENTIFICATION SYMBOL	238BH	238BH
PIPE FLOW ARROWS	→	→
STORM SEWER	→	→

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Derry Planning Department

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OCT 14 2022
Derry Planning Department

Site Development Plans

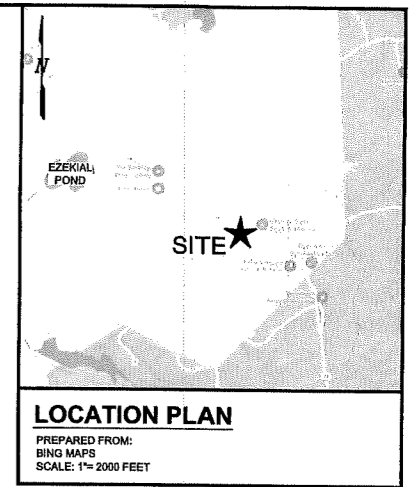
BC Industries LLC

253 Rockingham Road

Derry, NH

May 3, 2022

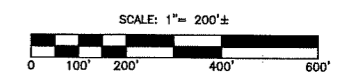
THIS PLAN SET
LAST REVISED ON:
10/7/2022



- NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT AN OVERVIEW FOR COMMERCIAL REDEVELOPMENT OF DERRY PROPERTY MAP 3 LOT 34.
 - THIS PLAN WAS PREPARED FROM DERRY & WINDHAM GIS.
 - THIS PLANSET CONTAINS 14 SHEETS. THE SITE DEVELOPMENT PLAN AND GRADING & UTILITIES PLAN WILL BE RECORDED UPON APPROVAL BY THE PLANNING BOARD. THE FULL SET OF PROJECT PLANS IS ON FILE AT THE DERRY PLANNING DEPARTMENT.

SHEET INDEX

SHEET NUMBER	DESCRIPTION	REVISION NUMBER	DATE
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2	EXISTING CONDITIONS PLAN	1	10/7/2022
3	DEMOLITION & EROSION CONTROL PLAN	1	10/7/2022
4	CONSTRUCTION PHASING PLAN	-	10/7/2022
5	SITE DEVELOPMENT PLAN	1	10/7/2022
6	GRADING & UTILITIES PLAN	1	10/7/2022
7	DRIVEWAY PROFILE	1	10/7/2022
8	DRIVEWAY PROFILE	1	10/7/2022
9	LANDSCAPE PLAN	1	10/7/2022
10	LIGHTING PLAN	1	10/7/2022
11	EROSION CONTROL DETAILS	1	10/7/2022
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13	CONSTRUCTION DETAILS	1	10/7/2022
14	CONSTRUCTION DETAILS	1	10/7/2022
15	ISDS PLAN	1	10/7/2022
16	ISDS DETAILS	1	10/7/2022
17	RETAINING WALL ELEVATIONS	-	10/7/2022
18	BUILDING ELEVATIONS	-	10/7/2022



1	TRC Comments: Update Legend & Sheet Index	10/7/2022
No.	Revision	Date
Designed by:	Drawn by: CRN	Checked by: DMF



- ABUTTERS**
- DPM 3-32
SCOTT F. BUCKLAND
238 ROCKINGHAM ROAD
DERRY, NH 03038
 - DPM 3-33, WPM 3-B-681
BACHIR LIB LLC
38 BELLE AVE
LYNN, MA 01905
 - DPM 3-35-1
LIFE STORAGE LP
647 MAIN STREET
BUFFALO, NY 14221
 - DPM 3-38
247-249 ROCKINGHAM ROAD LLC
84 NEW SALEM STREET
WAKEFIELD, MA 01880
 - DPM 3-38-2, WPM 3-B-700
MARTHA MEAD
247 ROCKINGHAM ROAD
DERRY, NH 03038
 - WPM 3-B-680
TOWN OF WINDHAM
3 NORTH LOWELL ROAD
WINDHAM, NH 03087

PLANNING BOARD SIGNATURE BLOCK

CHAIR	DATE

DEPARTMENT HEAD SIGNATURE BLOCK

DATE	
10-17-22	
10-14-22	
10-21-22	
10-12-22	

Title Sheet
BC Industries LLC
253 Rockingham Road
Derry, NH
Assessors Map 3 Lot 34

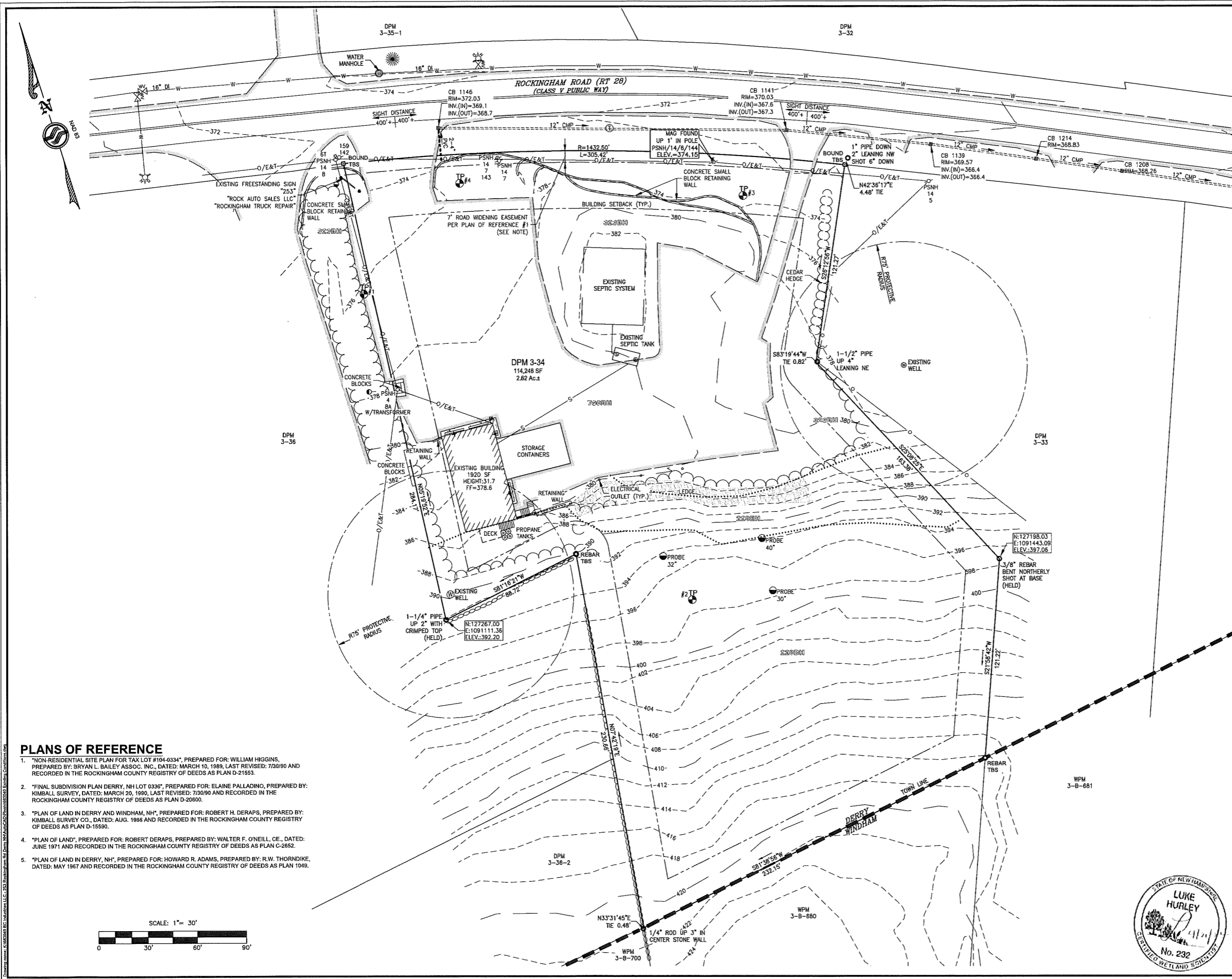
183 Rockingham Rd, Unit 3 East
Windham, NH 03087
(603) 647-8700
www.sfceng.com

Sheet 1 of 18
Scale: 1" = 200'±
Date: 5/3/2022

Prepared for:
BC Industries LLC
16 South Range Road
Derry, NH 03038

Zoning Classification: General Commercial IV - GC4

THIS PLAN SET SUBMITTED FOR PERMITTING ONLY.
THIS PLAN SET SHALL NOT BE USED FOR CONSTRUCTION.



NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF DERRY PROPERTY MAP 3 LOT 34 CONSISTING OF 2.62 AC.±.
2. THE OWNER OF RECORD: BC INDUSTRIES LLC DEED REFERENCE BOOK 6691 PAGE 2861, ROCKINGHAM COUNTY REGISTRY OF DEEDS
3. THIS PLAN SHOWS CONDITIONS AS DEFINED BY INSTRUMENT FIELD SURVEY ON 10/29/2021 AND 8/11/2022 BY SFC ENGINEERING PARTNERSHIP, INC. THE BOUNDARY INFORMATION SHOWN HEREON WAS PERFORMED IN CONJUNCTION WITH BOUDREAU LAND SURVEYING PLLC. THE BOUNDARY FIELD WORK HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND (1:15,000) OR BETTER.
4. GOVE ENVIRONMENTAL SERVICES, INC. PERFORMED THE HIGH INTENSITY SOIL SURVEY - HISS IN FEBRUARY 2022.
5. ZONING DISTRICT: GENERAL COMMERCIAL IV - GC4
 MINIMUM LOT SIZE WITH SEPTIC: 1 AC.± 10,000 SF FOR EACH 200 GPD OVER FIRST 200 GPD
 MINIMUM FRONTAGE: 125'
 FRONT SETBACK: 35'
 SIDE SETBACK: 20'
 REAR SETBACK: 20'
6. NO PORTION OF THIS PARCEL IS LOCATED WITHIN A FLOOD HAZARD AREA AS INTERPRETED FROM THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF DERRY, COMMUNITY PANEL NUMBER 3301600532E. EFFECTIVE DATE: 5/17/2005 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
7. BENCHMARK: CHC SURVEY GRADE GPS VERTICAL DATUM: NAVD 88 HORIZONTAL DATUM: NAD 83
8. ALL UNDERGROUND UTILITIES, IF SHOWN, ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION.
9. WATER LINE LOCATION TAKEN FROM DERRY GIS WATER SYSTEM VIEWER AND FIELD LOCATED EVIDENCE.
10. THE PROPERTY IS SERVED BY AN ONSITE WATER WELL.
11. THE PROPERTY IS SERVED BY ONSITE SEPTIC SYSTEM HAVING NHDES APPROVAL CA199600211 WITH OPERATIONAL APPROVAL DATE OF APRIL 3, 1997 FOR 966 GPD. SEPTIC DEPICTED IS FROM PLAN OF REFERENCE.
12. USDA WEBSOIL SURVEY LISTS SITE SOIL AS 140C CHATFIELD-HOLLIS-CANTON COMPLEX, 8 TO 15 PERCENT SLOPES, ROCKY.
13. THE PROPERTY HAS NHDOT DRIVEWAY PERMIT #119-87-24 DATED DECEMBER 1, 1987 FOR TWO DRIVEWAYS. THIS WAS AMENDED OCTOBER 20, 1988 TO LOW VOLUME COMMERCIAL USE.
14. THE 7' ROAD WIDENING EASEMENT SHOWN HEREON PER PLAN OF REFERENCE #1, JUNE 6, 1990 PLANNING BOARD MINUTES REQUESTED A 7 FOOT CONSTRUCTION AND MAINTENANCE EASEMENT BE SHOWN, NO ADDITIONAL RECORD FOUND.

HIGH INTENSITY MAP SYMBOL - 523BH

<p>DRAINAGE CLASS</p> <ol style="list-style-type: none"> 1- EXCESSIVELY DRAINED 2- WELL DRAINED 3- MODERATELY WELL DRAINED 4- SOMEWHAT POORLY DRAINED 5- POORLY DRAINED 6- VERY POORLY DRAINED 7- NOT DETERMINED 	<p>IDENTIFIER</p> <p>H- INDICATES HIGH INTENSITY SOIL MAP P- INDICATES PRELIMINARY MAP</p>
<p>PARENT MATERIAL</p> <ol style="list-style-type: none"> 1- GLACIOFLUVIAL 2- GLACIAL TILL MATERIAL MARINE OR GLACIOLACUSTRINE 3- VERY FINE SAND AND SILT MARINE OR GLACIOLACUSTRINE 4- LOAMY/SANDY OVER SILT/CLAY 5- SILT OR CLAY 6- EXCAVATED, REGRADED, OR FILLED 7- ALLUVIAL DEPOSITS 8- ORGANIC MATERIALS FRESH WATER 9- ORGANIC MATERIALS TIDAL MARSH 	<p>SLOPE CLASS</p> <p>B- 0% TO 8% C- 8% TO 15% D- 15% TO 25% E- MORE THAN 25%</p>
<p>RESTRICTIVE FEATURE</p> <ol style="list-style-type: none"> 1- NONE 2- BOULDERY, WITH MORE THAN 15% OF SURFACE COVERED 3- MINERAL RESTRICTIVE LAYER(S) ARE PRESENT AT LESS THAN 40 IN. DEPTH 4- BEDROCK 0 IN. TO 20 IN. DEPTH 5- SUBJECT TO FLOODING 6- DOES NOT MEET FILL STANDARDS 7- BEDROCK 20 IN. TO 40 IN. DEPTH 8- BEDROCK COMPLEX 	

HIGH INTENSITY MAP SYMBOL 523BH INDICATES A POORLY DRAINED GLACIAL TILL SOIL WITH A RESTRICTIVE FEATURE, ON A SLOPE OF 0 TO 8%.

SOURCE: USDA SOIL CONSERVATION SERVICE

HIGH INTENSITY SOIL MAP SYMBOL KEY
NOT TO SCALE

1	TRC Comments: Added Abutter and Additional Boundary Notes	10/7/2022
No.	Revision	Date
Designed by:	Drawn by: JRB	Checked by: DMF

PLANS OF REFERENCE

1. "NON-RESIDENTIAL SITE PLAN FOR TAX LOT #104-0334", PREPARED FOR: WILLIAM HIGGINS, PREPARED BY: BRYAN L. BAILEY ASSOC. INC., DATED: MARCH 10, 1989, LAST REVISED: 7/30/90 AND RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN D-21563.
2. "FINAL SUBDIVISION PLAN DERRY, NH LOT 0336", PREPARED FOR: ELAINE PALLADINO, PREPARED BY: KIMBALL SURVEY, DATED: MARCH 20, 1990, LAST REVISED: 7/30/90 AND RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN D-20600.
3. "PLAN OF LAND IN DERRY AND WINDHAM, NH", PREPARED FOR: ROBERT H. DERAPS, PREPARED BY: KIMBALL SURVEY CO., DATED: AUG. 1986 AND RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN D-15590.
4. "PLAN OF LAND", PREPARED FOR: ROBERT DERAPS, PREPARED BY: WALTER F. O'NEILL, CE., DATED: JUNE 1971 AND RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN C-2652.
5. "PLAN OF LAND IN DERRY, NH", PREPARED FOR: HOWARD R. ADAMS, PREPARED BY: R. W. THORNDIKE, DATED: MAY 1967 AND RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN 1049.

Existing Conditions Plan
BC Industries LLC
 253 Rockingham Road
 Derry, NH
 Assessors Map 3 Lot 34

SFC ENGINEERING

183 Rockingham Rd, Unit 3 East
 Windham, NH 03087 (603) 647-8700
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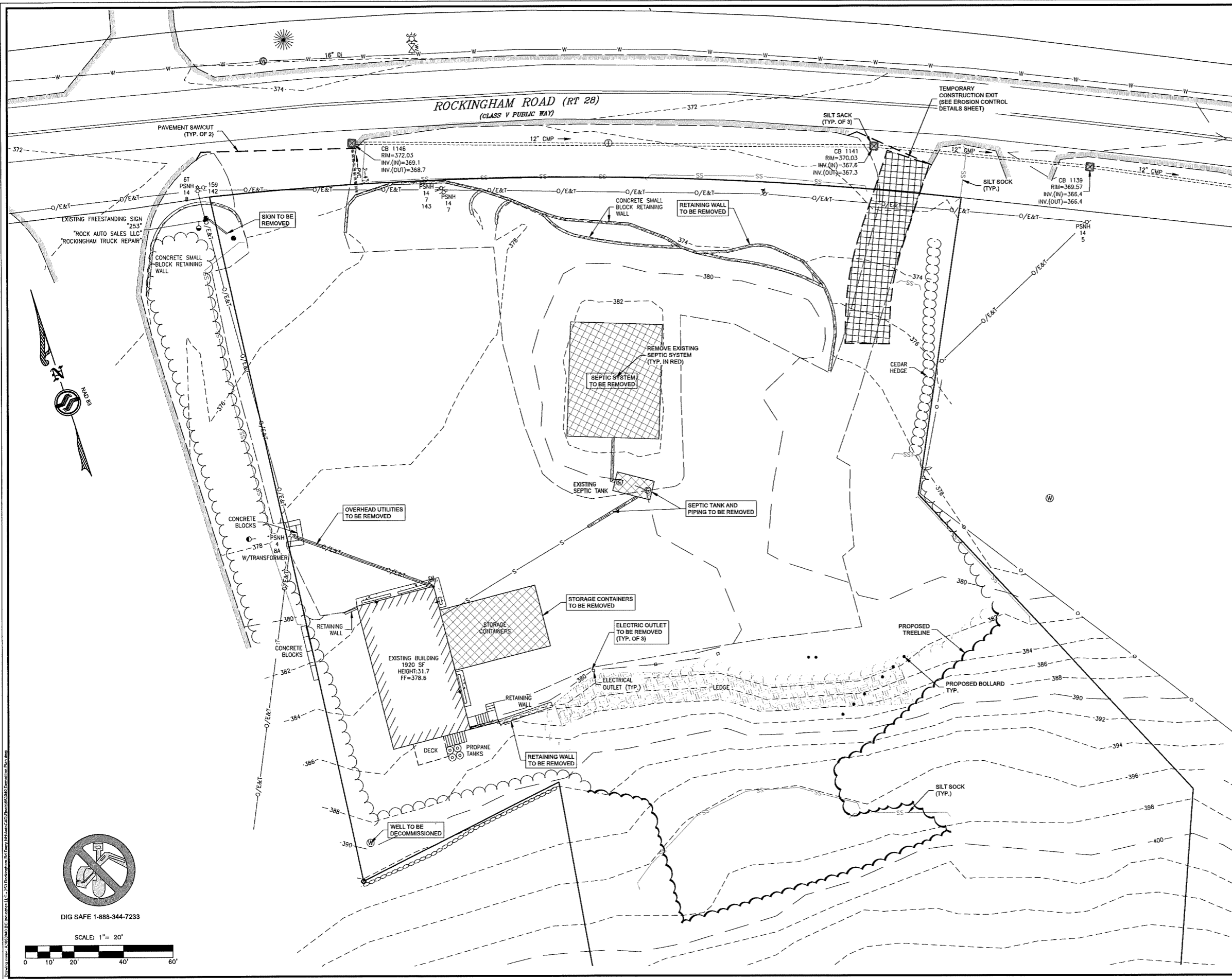
Sheet 2 of 18 Scale: 1" = 30' Date: 5/3/2022

Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

Zoning Classification: General Commercial IV - GC4

STATE OF NEW HAMPSHIRE
 LUKE HURLEY
 No. 292

STATE OF NEW HAMPSHIRE
 JAMES H. BOUDREAU
 No. 961
 SCOTT D. BOUDREAU



- NOTES**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE DEMOLITION & EROSION CONTROL MEASURES FOR THE PROPOSED REDEVELOPMENT OF DERRY PROPERTY MAP 3 LOT 34
 2. INSTALL EROSION AND SEDIMENT CONTROL BARRIER IN STORMWATER RUNOFF PATHS BETWEEN ANY DISTURBED AREAS AND PROPERTY LINES PRIOR TO ANY WORK. REFER TO THE NH STORMWATER MANUAL, VOLUME 3, DATED DECEMBER 2008.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING APPROPRIATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH NHDES AND US EPA BEST MANAGEMENT PRACTICES.
 4. ALL DISTURBED AREAS SHALL BE DRESSED WITH 4" LOAM AND SEED UNLESS OTHERWISE NOTED.
 5. ALL UNDERGROUND UTILITY LOCATIONS, IF SHOWN, ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION.
 6. ALL PAVEMENT ON SITE SHALL BE REMOVED AND REGRADED AS SHOWN ON SITE DEVELOPMENT AND GRADING PLANS.
 7. NEW SEPTIC SYSTEM TO BE CONSTRUCTED AND STATE OPERATIONAL APPROVAL OBTAINED PRIOR TO REMOVAL OF EXISTING SEPTIC SYSTEM.
 8. NEW CONNECTION TO MUNICIPAL WATER REQUIRED PRIOR TO DECOMMISSIONING OF EXISTING WELL.
 9. UTILITY POLE #147 BURIAL DEPTH TO BE EVALUATED BY UTILITY OWNER BEFORE REMOVAL OF EXISTING RETAINING WALL AND NEW POLE TO BE SET IF REQUIRED.

1	TRC Comments: Add Note #9	10/7/2022
No.	Revision	Date
Designed by: JRB		Drawn by: CRN
		Checked by: DMF

Demolition & Erosion Control Plan
BC Industries LLC
253 Rockingham Road
Derry, NH
 Assessors Map 3 Lot 34


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Sheet 3 of 18 Scale: 1" = 20' Date: 5/3/2021

Prepared for:
BC Industries LLC
 16 South Range Road
 Derry, NH 03038

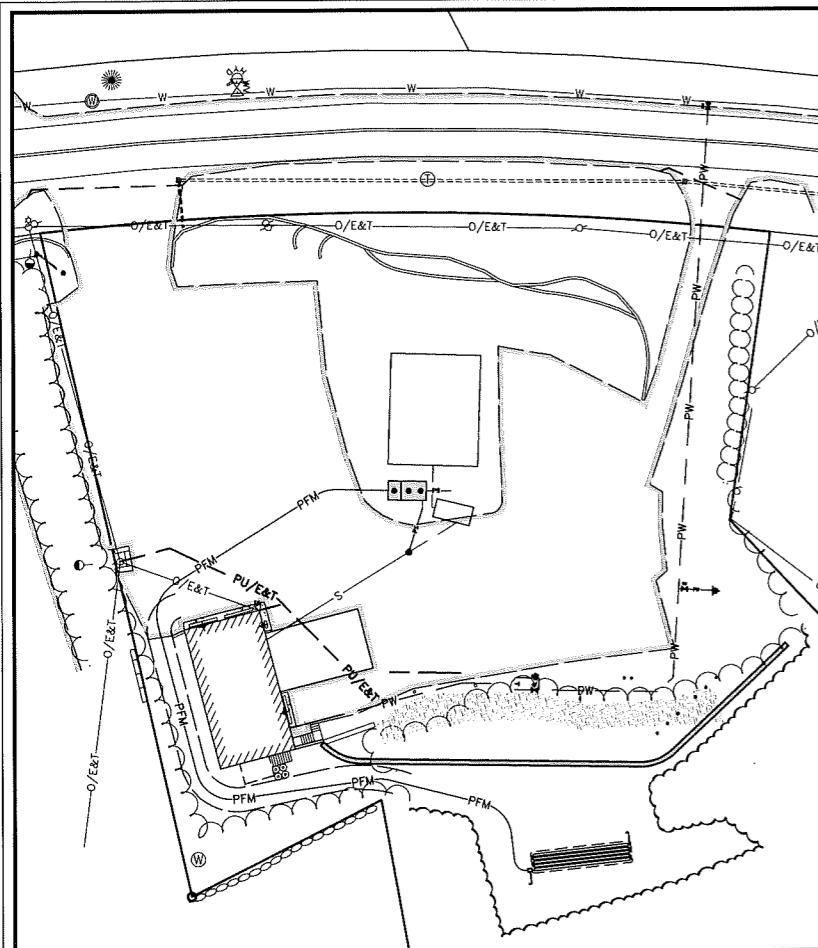
Zoning Classification: General Commercial IV - GC4



DIG SAFE 1-888-344-7233

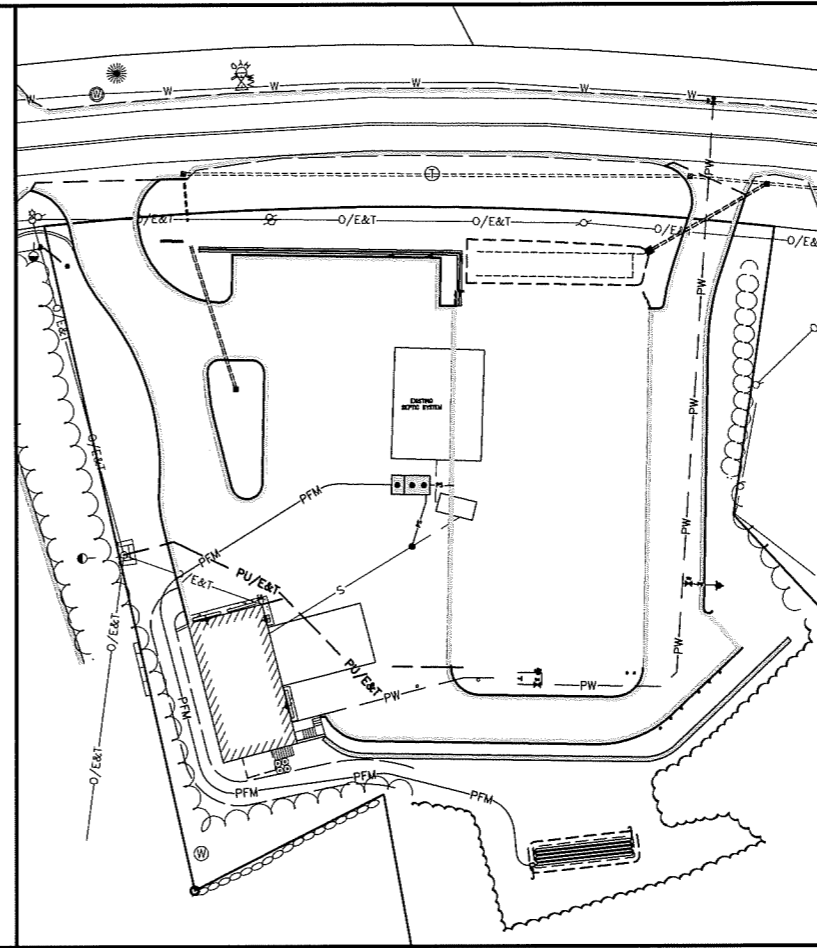
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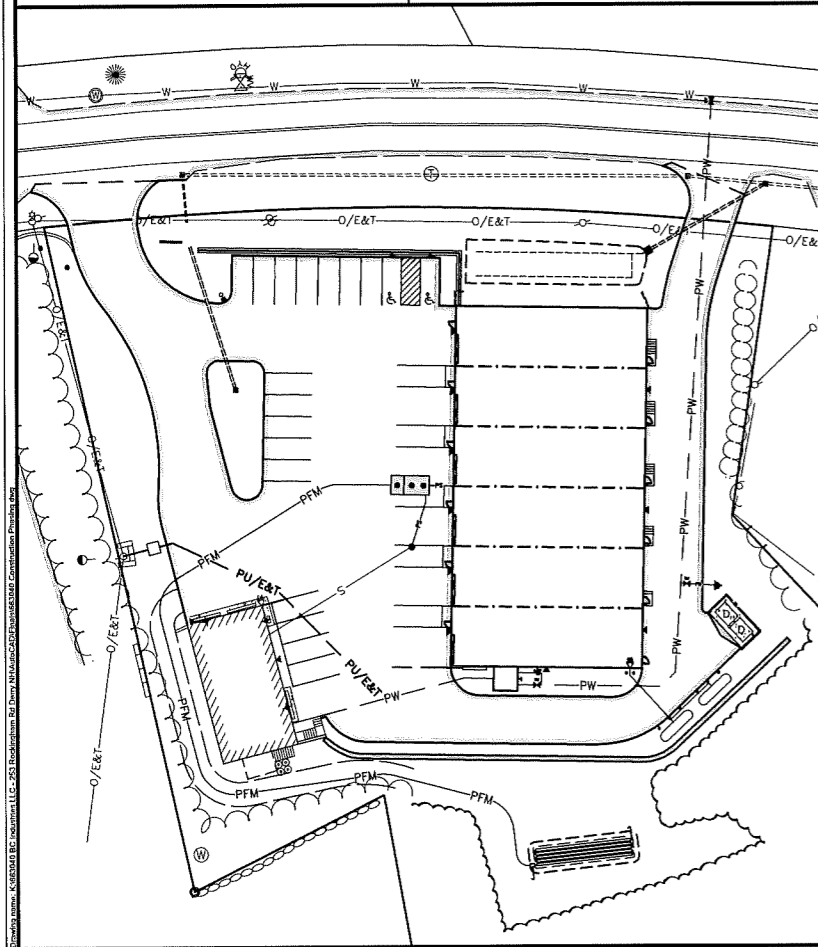
PHASE 1

1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
2. DIRECTIONAL DRILL NEW WATER MAIN UNDER ROCKINGHAM ROAD.
3. ROUGH GRADE EASTERLY DRIVEWAY AND SOUTHERLY SLOPE.
4. CONSTRUCT SOUTHERLY RETAINING WALL.
5. EXTEND WATER PIPE THROUGH SITE AND CONNECT TO EXISTING BUILDING.
6. DECOMMISSION WELL.
7. CONSTRUCT SEPTIC LEACH FIELD.
8. CONSTRUCT SEPTIC TANK AND EXTEND FORCEMAIN TO NEW LEACH FIELD.
9. INSTALL ELECTRIC TRANSFORMER AND BRING POWER TO SEPTIC PUMP STATION.
10. OBTAIN OPERATIONAL APPROVAL FROM NHDES SUBSURFACE BUREAU FOR NEW SEPTIC SYSTEM.
11. CONNECT SEPTIC PIPE FROM EXISTING BUILDING TO NEW SEPTIC TANK.



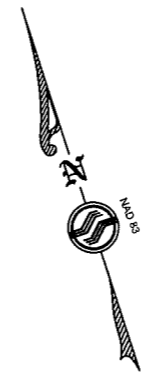
PHASE 2

1. REMOVE EXISTING SEPTIC LEACH FIELD AND SEPTIC TANK.
2. CONSTRUCT BIORETENTION AREA AND EASTERLY SWALE.
3. CONSTRUCT FRONT RETAINING WALL.
4. ROUGH GRADE PARKING AND BUILDING AREA, BEGINNING FROM EASTERLY SIDE TO MAINTAIN ACCESS TO EXISTING BUILDING.
5. CONSTRUCT LANDSCAPE ISLAND AND INSTALL CATCH BASIN AND DRAIN PIPE.
6. CONSTRUCT BALANCE OF DRAINAGE IMPROVEMENTS.



PHASE 3

1. CONSTRUCT NEW BUILDING.
2. ROUGH GRADE AND CONSTRUCT WESTERLY DRIVEWAY, ALLOWING ACCESS TO EXISTING BUILDING FROM EASTERLY DRIVEWAY.
3. CONSTRUCT BALANCE OF THE SITE.



NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED CONSTRUCTION PHASING FOR COMMERCIAL REDEVELOPMENT OF DERRY PROPERTY MAP 3 LOT 34.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF DERRY REQUIREMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIG SAFE (1-800-394-7233) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAW.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING APPROPRIATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH NHDES AND US EPA BEST MANAGEMENT PRACTICES.

No.	Revision	Date
Designed by: JRB	Drawn by: CRN	Checked by: DMF

Construction Phasing Plan
BC Industries LLC
 253 Rockingham Road
 Derry, NH
 Assessors Map 3 Lot 34



183 Rockingham Rd, Unit 3 East
 Windham, NH 03087

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Sheet 4 of 18

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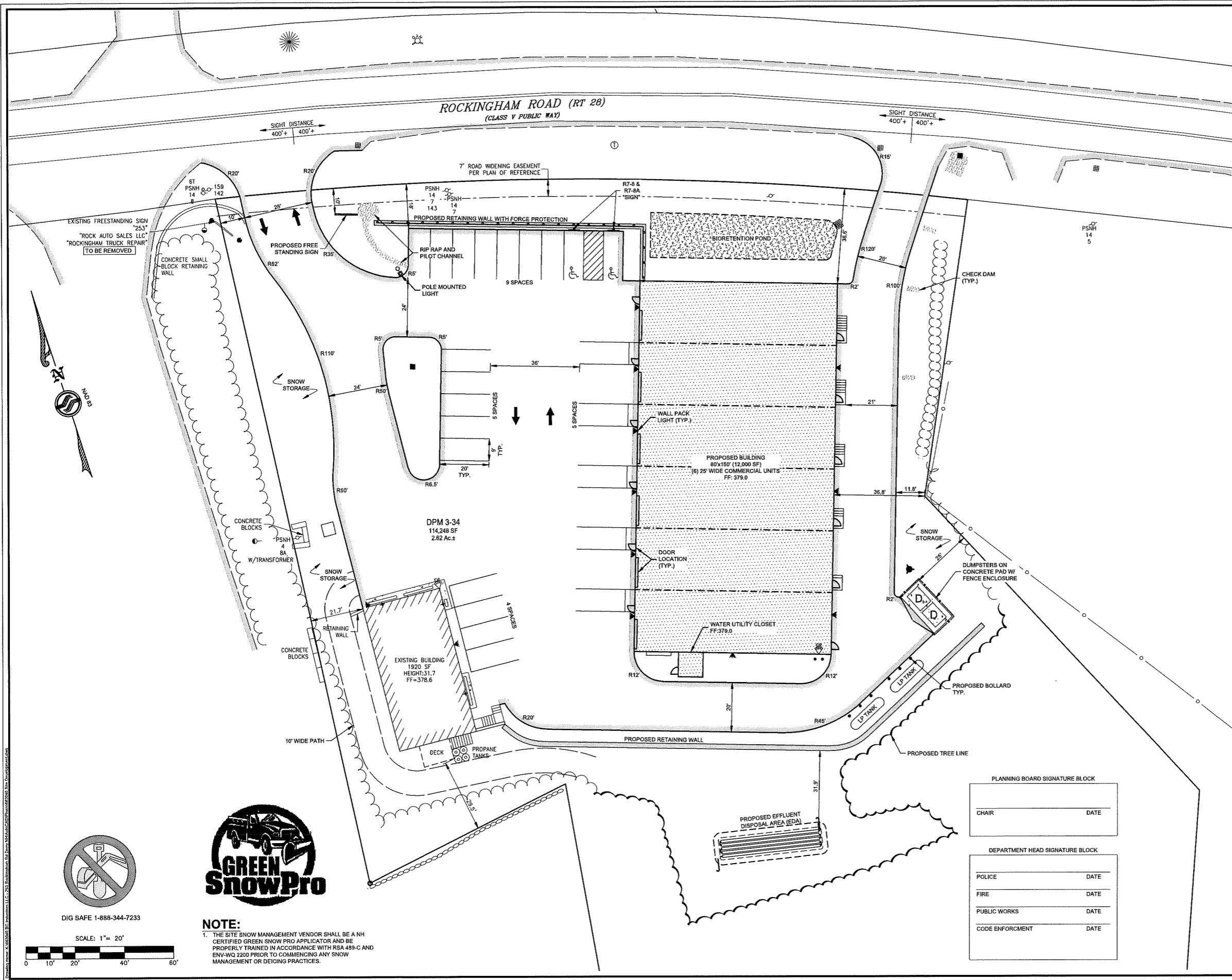
Date: 10/7/2022

Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

Zoning Classification: General Commercial IV - GC4



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- ### NOTES
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE REDEVELOPMENT OF DERRY PROPERTY MAP 3 LOT 34 CONSISTING OF 2.62 AC.±.
 - THE PROPOSED DEVELOPMENT FEATURES INCLUDE:
 - CONSTRUCTION OF NEW COMMERCIAL BUILDING
 - MAINTAIN EXISTING COMMERCIAL BUILDING
 - CONSTRUCT NEW PARKING AND IMPROVED DRIVEWAYS
 - STORMWATER IMPROVEMENTS
 - CONNECTION TO MUNICIPAL WATER
 - CONSTRUCTION OF NEW SEPTIC SYSTEM
 - ZONING DISTRICT: GENERAL COMMERCIAL IV - GC4
 REQUIRED: 1.23 AC.±, 125', 35', 20', 20'
 PROVIDED: 2.62 AC., 305'+, 38'+, 21'+, 29'+
 - TOTAL LAND AREA TO BE DISTURBED FOR THIS PROJECT: 59,100 SF.
 - IMPERVIOUS AREA ADDED AS PART OF THIS PROJECT 9,975 SF.
 - TOTAL LOT COVERAGE 37.9%.
 - AFTER REDEVELOPMENT THIS PROPERTY WILL BE SERVICED BY MUNICIPAL WATER AND ON-SITE SEWAGE DISPOSAL SYSTEM.
 - PROPOSED BUILDING WILL BE SERVED BY PROPANE TANKS.
 - ALL PARKING SPACES SHALL BE STRIPED WITH WHITE OR YELLOW TRAFFIC PAINT WITH A 4" MINIMUM LINE WIDTH.
 - ALL DISTURBED AREAS SHALL BE DRESSED WITH 4" OF LOAM AND SEEDED UNLESS OTHERWISE NOTED.
 - ALL WORK SHALL CONFORM TO TOWN OF DERRY STANDARDS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT THEY HAVE THE MOST RECENT SET OF PLANS. ALL WORK SHALL BE PERFORMED USING A COMPLETE SET OF PLANS AS SOME ITEMS ARE NOT SHOWN ON ALL SHEETS.
 - THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF CONDITIONS ARE FOUND THAT DO NOT MATCH THESE PLANS.
 - ALL EXTERIOR LIGHTING TO BE SHIELDED AND DOWN CAST ONLY.
 - ALL UNDERGROUND UTILITIES, IF SHOWN, ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION.
 - ON-SITE WATER WELL WILL REQUIRE CAP AND DECOMMISSIONING PER NHDES DRINKING WATER & GROUNDWATER BUREAU REQUIREMENTS WHEN CONNECTION TO MUNICIPAL WATER IS COMPLETED.
 - THE PROPERTY HAS NHDOT DRIVEWAY PERMIT #119-87-24 DATED DECEMBER 1, 1987 FOR TWO DRIVEWAYS. THIS WAS AMENDED OCTOBER 20, 1998 TO LOW VOLUME COMMERCIAL USE. AMENDED PERMIT WILL BE REQUIRED.
 - THE EXISTING FREESTANDING SIGN DOES NOT MEET SETBACK REQUIREMENTS AND WILL BE RELOCATED AS SHOWN. NEW SIGN MUST MEET SIZE REQUIREMENTS PER DERRY ZONING ORDINANCE.
 - REFERENCE ON MARCH 3, 2022 DERRY ZONING BOARD OF ADJUSTMENT TO GRANT A VARIANCE TO ALLOW CONTRACTOR USE IN THE GENERAL COMMERCIAL IV DISTRICT.
 - NO FLOOR DRAINS ARE ALLOWED IN PROPOSED BUILDING.
 - DUMPSTERS SHALL BE LOCATED IN DESIGNATED AREA ONLY.
 - UTILITY POLE #147 BURIAL DEPTH TO BE EVALUATED BY UTILITY OWNER BEFORE REMOVAL OF EXISTING RETAINING WALL AND NEW POLE TO BE SET IF REQUIRED.
 - IF THE BUILDING BECOMES INDIVIDUAL CONDOMINIUM UNITS, THEN DOMESTIC WATER SERVICE FOR EACH UNIT IS TO BE METERED WITH INDIVIDUAL SHUT OFFS AT THE WATER UTILITY CLOSET.
 - PARKING CALCULATIONS WILL BE EVALUATED BASED ON PROPOSED USE UPON ANY NEW OCCUPANCY OF THE UNIT.

PARKING CALCULATIONS

PARKING REQUIREMENT:	1 SPACE PER 300 GFA (OFFICE)	1 SPACE PER 1200 GFA (WAREHOUSE)
EXISTING OFFICE: 768 SF X 1/300 =	3	
EXISTING GARAGE: 1920 SF X 1/1200 =	2	
PROPOSED OFFICE: 6 X 240 SF X 1/300 =	5	
PROPOSED GARAGE: 6 X 1760 SF X 1/1200 =	9	
TOTAL PARKING REQUIRED:	19	
TOTAL PARKING PROVIDED:	23 (2 ACCESSIBLE)	

No.	Revision	Date
1	TRC Comments: Add Notes 20-24, Update Sheet Number	10/7/2022

Designed by: JRB Drawn by: CRN Checked by: DMF

Site Development Plan
BC Industries LLC
253 Rockingham Road
Derry, NH
 Assessors Map 3 Lot 34

SFC ENGINEERING

183 Rockingham Rd, Unit 3 East
 Windham, NH 03087 (603) 647-8700
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Sheet 5 of 18 Scale: 1" = 20' Date: 5/3/2022

Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

Zoning Classification: General Commercial IV - GC4



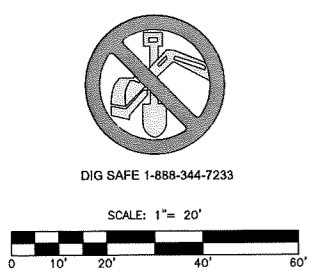
NOTE:
 1. THE SITE SNOW MANAGEMENT VENDOR SHALL BE A NH CERTIFIED GREEN SNOW PRO APPLICATOR AND BE PROPERLY TRAINED IN ACCORDANCE WITH RSA 489-C AND ENV-WQ 2200 PRIOR TO COMMENCING ANY SNOW MANAGEMENT OR DEICING PRACTICES.

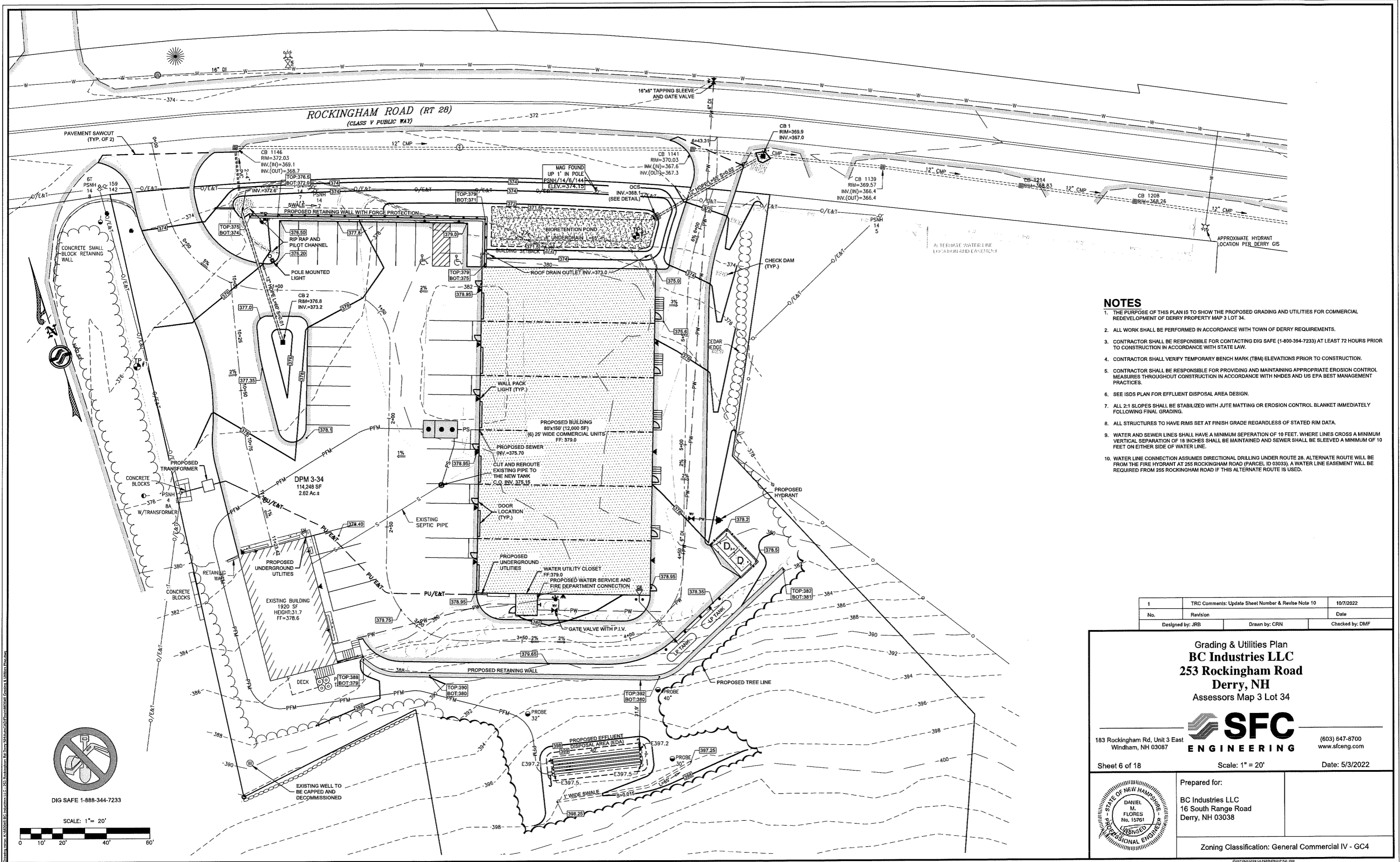
PLANNING BOARD SIGNATURE BLOCK

CHAIR	DATE

DEPARTMENT HEAD SIGNATURE BLOCK

POLICE	DATE
FIRE	DATE
PUBLIC WORKS	DATE
CODE ENFORCEMENT	DATE






- NOTES**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED GRADING AND UTILITIES FOR COMMERCIAL REDEVELOPMENT OF DERRY PROPERTY MAP 3 LOT 34.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF DERRY REQUIREMENTS.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIG SAFE (1-800-394-7233) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAW.
 4. CONTRACTOR SHALL VERIFY TEMPORARY BENCH MARK (TBM) ELEVATIONS PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING APPROPRIATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH NHDES AND US EPA BEST MANAGEMENT PRACTICES.
 6. SEE ISDS PLAN FOR EFFLUENT DISPOSAL AREA DESIGN.
 7. ALL 2:1 SLOPES SHALL BE STABILIZED WITH JUTE MATTING OR EROSION CONTROL BLANKET IMMEDIATELY FOLLOWING FINAL GRADING.
 8. ALL STRUCTURES TO HAVE RIMS SET AT FINISH GRADE REGARDLESS OF STATED RIM DATA.
 9. WATER AND SEWER LINES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET. WHERE LINES CROSS A MINIMUM VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED AND SEWER SHALL BE SLEEVED A MINIMUM OF 10 FEET ON EITHER SIDE OF WATER LINE.
 10. WATER LINE CONNECTION ASSUMES DIRECTIONAL DRILLING UNDER ROUTE 28. ALTERNATE ROUTE WILL BE FROM THE FIRE HYDRANT AT 255 ROCKINGHAM ROAD (PARCEL ID 03033). A WATER LINE EASEMENT WILL BE REQUIRED FROM 255 ROCKINGHAM ROAD IF THIS ALTERNATE ROUTE IS USED.

1	TRC Comments: Update Sheet Number & Revise Note 10	10/7/2022
No.	Revision	Date
Designed by: JRB		Drawn by: CRN
		Checked by: DMF

Grading & Utilities Plan
BC Industries LLC
253 Rockingham Road
Derry, NH
 Assessors Map 3 Lot 34

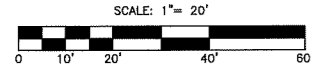

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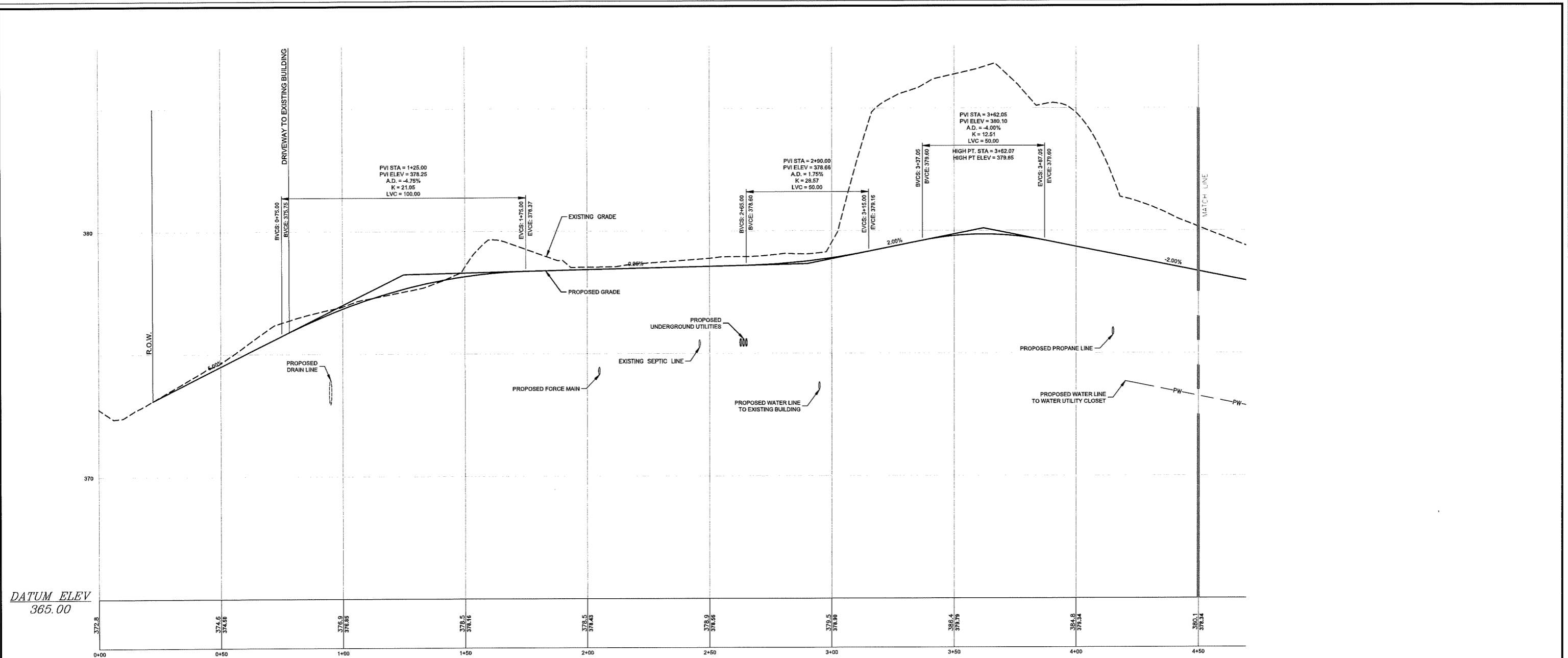
183 Rockingham Rd, Unit 3 East
 Windham, NH 03087 (603) 647-8700
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Sheet 6 of 18 Scale: 1" = 20' Date: 5/3/2022

Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

Zoning Classification: General Commercial IV - GC4





DATUM ELEV
365.00

DRIVEWAY PROFILE
SCALE: H: 1" = 20"
V: 1" = 2"

No.	Revision	Date
1	TRC Comments: Update Sheet Number	10/7/2022

Designed by: DMF Drawn by: CRN Checked by: DMF

Driveway Profile
BC Industries LLC
253 Rockingham Road
Derry, NH
Assessors Map 3 Lot 34

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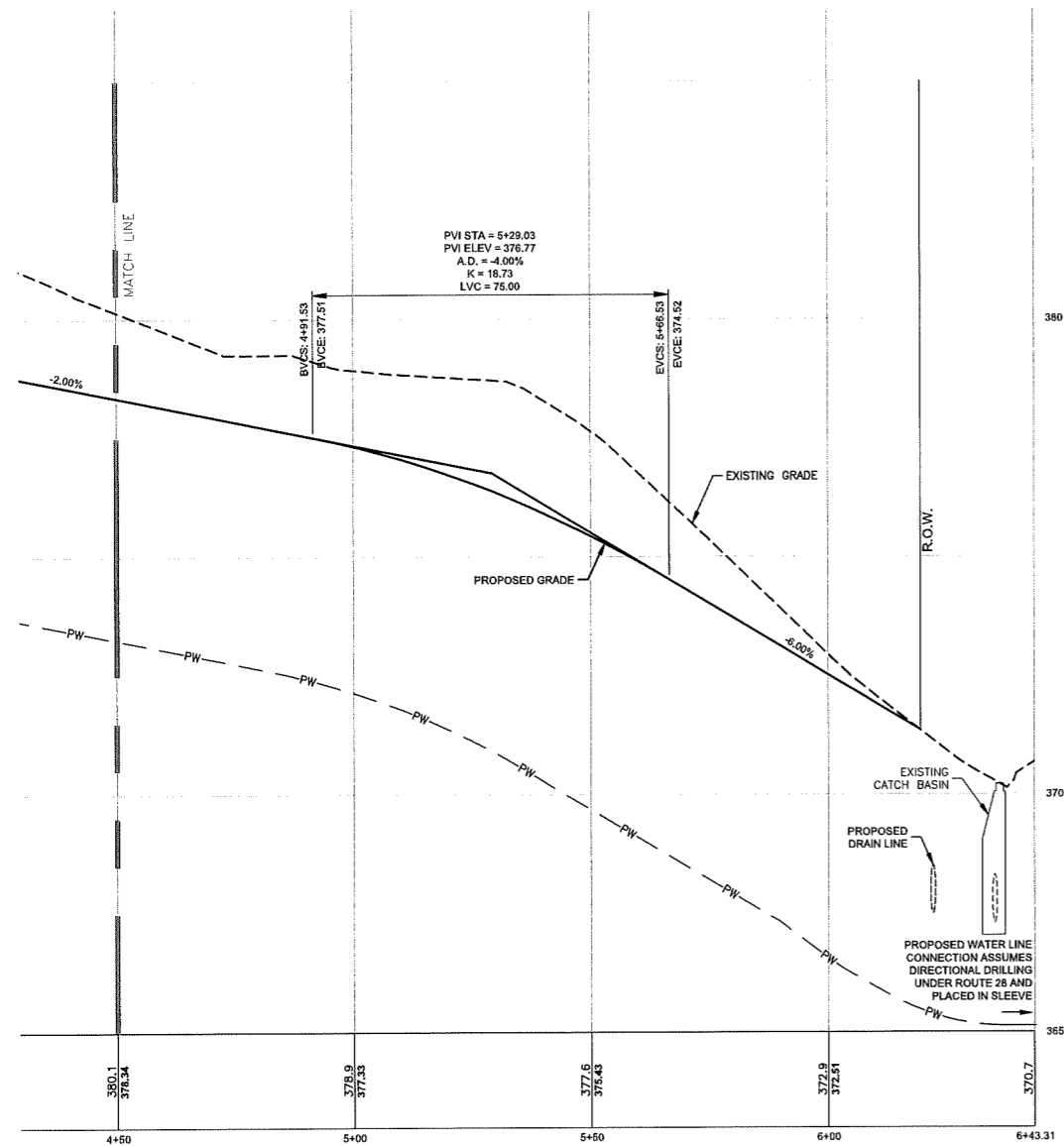
Sheet 7 of 18 Scale: As Shown Date: 5/3/2022

Prepared for:
BC Industries LLC
16 South Range Road
Derry, NH 03038

Zoning Classification: General Commercial IV - GC4

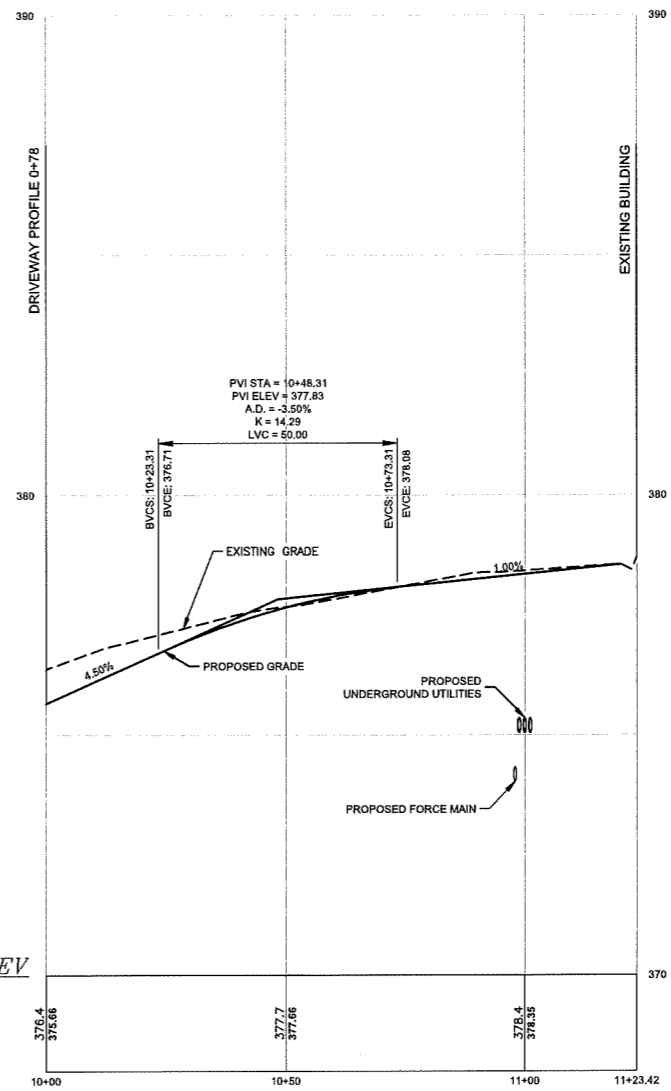


SFC ENGINEERING PARTNERSHIP P.C. 2021
 Daniel M. Flores, P.E., No. 15761, State of New Hampshire
 183 Rockingham Road, Unit 3 East, Windham, NH 03087



DRIVEWAY PROFILE (CONT.)

SCALE: H: 1" = 20'
V: 1" = 2'



DRIVEWAY TO EXISTING BUILDING PROFILE

SCALE: H: 1" = 20'
V: 1" = 2'

1	TRC Comments: Update Sheet Number	10/7/2022
No.	Revision	Date
Designed by: JRB	Drawn by: CRN	Checked by: DMF

Driveway Profile
BC Industries LLC
 253 Rockingham Road
 Derry, NH
 Assessors Map 3 Lot 34



183 Rockingham Rd, Unit 3 East
Windham, NH 03087

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Sheet 8 of 18

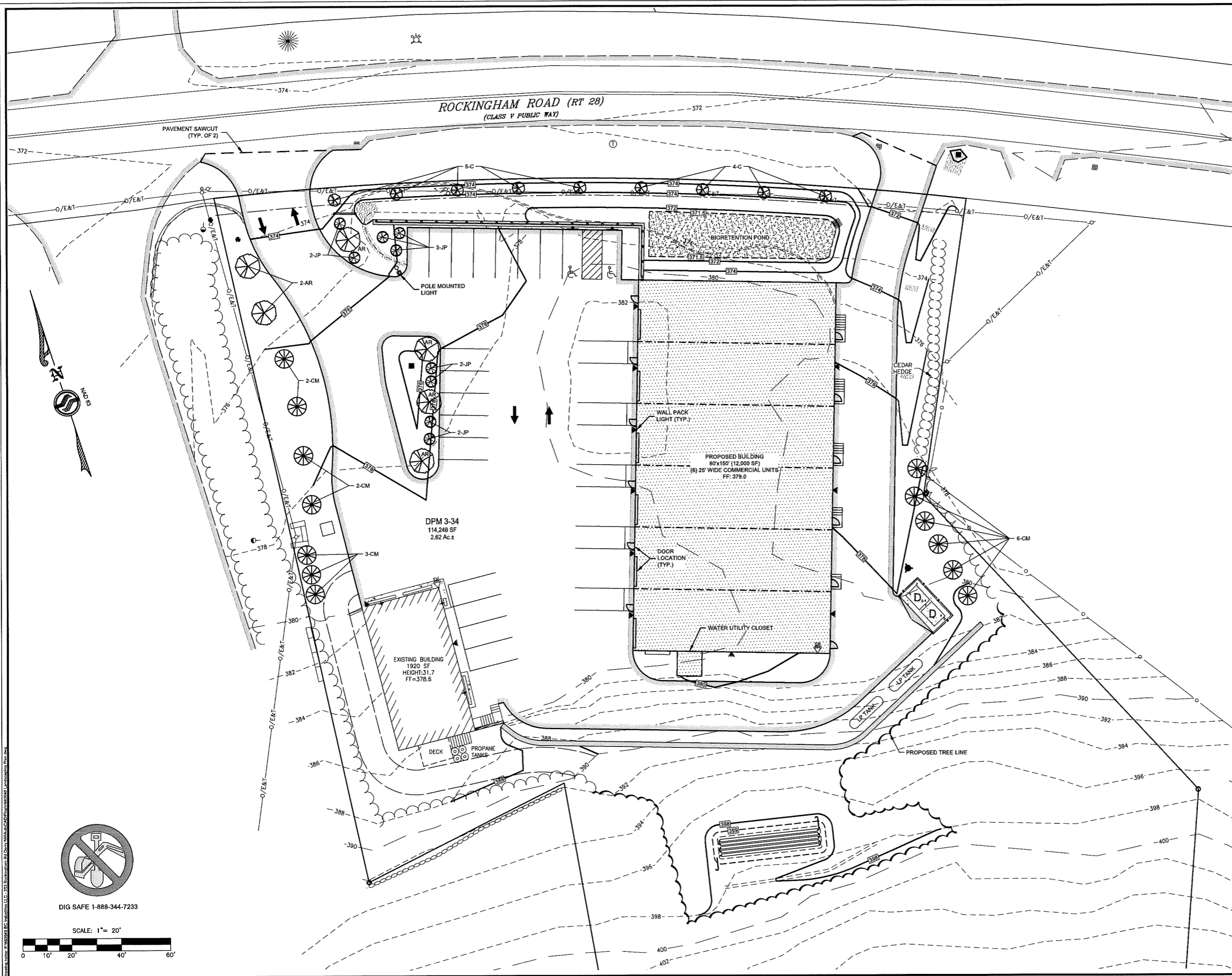
Scale: As Shown

Date: 5/3/2022



Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

Zoning Classification: General Commercial IV - GC4



- NOTES**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LANDSCAPING FOR COMMERCIAL REDEVELOPMENT OF DERRY PROPERTY MAP 3 LOT 34.
 2. ALL DISTURBED AREAS TO HAVE 4" LOAM AND SEED.
 3. PLANTINGS ARE TO BE INSPECTED ANNUALLY, ANY REQUIRED PLANTING MATERIALS FOUND TO BE DEAD OR DISEASED TO BE REPLACED IN-KIND.

LANDSCAPE LEGEND

SYMBOL	CODE	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	AR	6	RED MAPLE	ACER REDRUM	2-1/2" CAL.	B & B
	JP	9	SEAGREEN JUNIPER	JUNIPER CHINESIS	18" HEIGHT/ SPREAD	CONT.
	CM	13	HEMLOCK	CONIUM MACULATUM	2-1/2" CAL.	B & B
	C	9	GREEN HAWTHORN	CRATAEGUS VIRIDIS	2-1/2" CAL.	B & B

PLANTS LISTED CAN BE SUBSTITUTED BY OWNER FOR SIMILAR SPECIES
 B&B = BALLED & BURLAPPED, CONT. = CONTAINER

1	TRC Comments: Modify Proposed Trees, Updated Landscape Legend & Sheet Number	10/7/2022
No.	Revision	Date
Designed by: DMF		Drawn by: CRN
		Checked by: DMF

Landscape Plan
BC Industries LLC
253 Rockingham Road
Derry, NH
 Assessors Map 3 Lot 34

183 Rockingham Rd, Unit 3 East
 Windham, NH 03087
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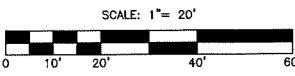
Sheet 9 of 18 Scale: 1" = 20' Date: 5/3/2022

Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

Zoning Classification: General Commercial IV - GC4



DIG SAFE 1-888-344-7233



NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED LIGHTING OF DERRY PROPERTY MAP 3 LOT 34.
2. THE PROPOSED LIGHTS ARE TO BE MOUNTED AT A MAX HEIGHT OF 15'.
3. PROPOSED LIGHT FIXTURES SHALL BE AS LISTED OR APPROVED EQUAL.
4. PROPOSED LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DARK SKY CONFORMING.

Project: **BC Industries** Type: **POLE**

Prepared By: **JRB** Date: **4/8/2022**

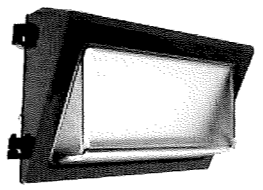


Driver Info		LED Info	
Type	Constant Current	Watts	15W
120V	0.30A	Color Temp	5000K/5000K
208V	0.265A	Color Accuracy	71 CRI
240V	0.215A	L70/B70	100,000 Hours
277V	0.195A	Luminaires	1x A64
Input Watts: 15.25 W		Efficiency	115 lm/W

RAB

Project: **BC Industries** Type: **Wall Pack-15W**

Prepared By: **JRB** Date: **4/8/2022**



Driver Info		LED Info	
Type	Constant Current	Watts	15W
120V	0.30A	Color Temp	10000/5000K/5000K
208V	0.265A	Color Accuracy	60 CRI
240V	0.215A	L70/B70	100,000 Hours
277V	0.195A	Luminaires	2216 A550
Input Watts: 15.25 W		Efficiency	165 lm/W

Technical Specifications

Compliance
UL Listed
Variable for wet locations

IESNA LM-79 & LM-80 Testing
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:
The product has been listed by the Department of Energy Efficiency Resources (DER) as a qualified luminaire. It is eligible for rebates from DER. Member Utilities: DER Product Code: PLZ-G016

Performance
Lifetime:
100,000 Hour LED lifespan based on IES LM-80 results and LM-21 calculations.

Construction
Housing:
Die-cast aluminum

IP Rating:
Ingress protection rating of IP65 for dirt and water.

Cold Weather Starting:
The minimum starting temperature is -40°C (-40°F).

Maximum Ambient Temperature:
Surface for use in up to 50°C (122°F).

Housing:
Die-cast aluminum

IP Rating:
Ingress protection rating of IP65 for dirt and water.

Cold Weather Starting:
The minimum starting temperature is -40°C (-40°F).

Maximum Ambient Temperature:
Surface for use in up to 50°C (122°F).

Housing:
Die-cast aluminum

IP Rating:
Ingress protection rating of IP65 for dirt and water.

Cold Weather Starting:
The minimum starting temperature is -40°C (-40°F).

Maximum Ambient Temperature:
Surface for use in up to 50°C (122°F).

Housing:
Die-cast aluminum

Technical Specifications

Field Adjustability
Field Adjustable Light Output
15W/20W/25W factory default 25W
Color temperature selectable by 3000K, 4000K and 5000K

Compliance
UL Listed
Variable for wet locations

IESNA LM-79 & LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:
This product is listed by DesignLights Consortium (DLC) as an eligible premium product that qualifies for the incentives of rebates from DLC Member Utilities. Design code: PLZ-G016

Performance
Lifetime:
100,000 Hour LED lifespan based on IES LM-80 results and LM-21 calculations.

LED Characteristics
LEDs:
Using high efficiency, surface mount LEDs.

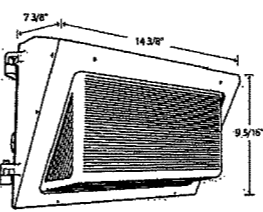
Electrical
Driver:
Constant Current Class 2, 120-277V, 1600mAh, 120V-0.35A, 208V-0.265A, 240V-0.215A, 277V-0.195A

Dimming Driver:
Driver includes dimming control wiring for 0-10V dimming system. Requires separate 0-10V DC dimming circuit. Dimmable to 10%.

Photocell:
120-277V sensitive photocell that can be turned on or off.

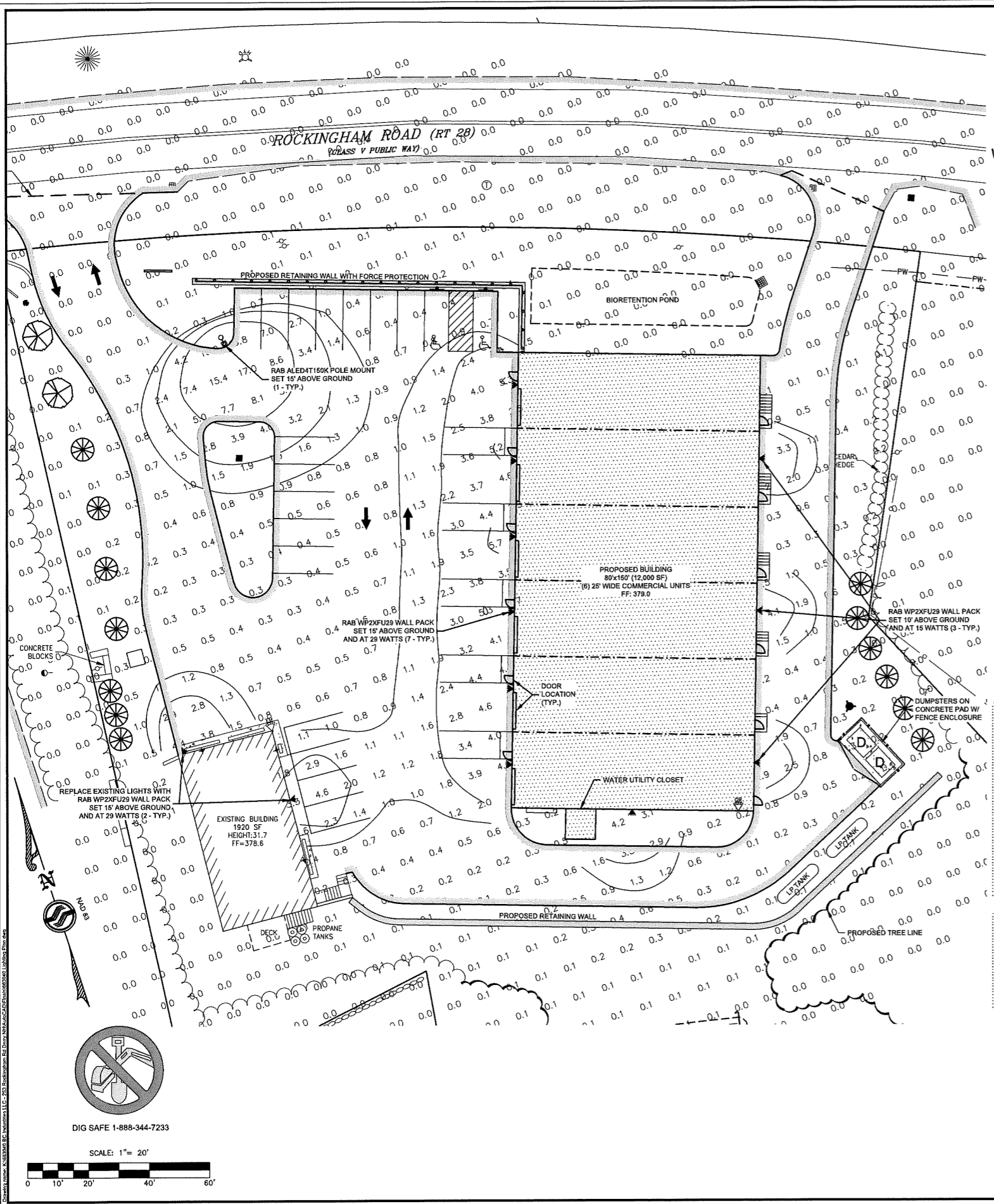
Note:
All voltages typical tolerance of 10%.

Dimensions



Ordering Matrix

Family	Wattage
WP2XFU	29
	29 = 29/20/15W
	40 = 40/30/20W
	60 = 60/45/30W
	80 = 80/60/40W
	100 = 100/80/60W



Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T	150			K			
	4T = Type IV	50 = 50W	Blank = Pole mount	Blank = 5000K	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
	2T = Type II	78 = 78W	SF = Splitter	Cool = 4000K	RG = Roadway	/48V = 480V	/LC = Lightcolor	USA = USA
	2T = Type II	105 = 105W		Warm = 3000K	Gray	/BL = 10-Level	Committer	Compliant
		125 = 125W		Neutral = 4000K	White	/D10 = 10-Level	/CS = 120V Swivel	
		150 = 150W		Warm = 3000K	Black	Dimming	PhotoCell	
						/48V/D10 = 480V, 0-10V Dimming	/PCT2 = 277V Swivel	
							/PCT = 120-277V	
							TwistLock PhotoCell	
							/PCT4 = 480V Swivel	
							PhotoCell	
							/W22 = Multi-Level Motion Sensor 20 ft.	
							/W54 = Multi-Level Motion Sensor 40 ft.	

1	TRC Comments: Updated Sheet Number, Modified Lighting on Existing Building	10/7/2022
No.	Revision	Date
	Designed by: JRB	Drawn by: JRB
		Checked by: DMF

Lighting Plan
BC Industries LLC
253 Rockingham Road
Derry, NH
Assessors Map 3 Lot 34

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Sheet 10 of 18 Scale: 1" = 20' Date: 5/3/2022

Prepared for:
BC Industries LLC
16 South Range Road
Derry, NH 03038

Zoning Classification: General Commercial IV - GC4

DANIEL M. FLORES
No. 10761
Professional Engineer
State of New Hampshire

Drawing: 663040 Lighting Plan
Layout: Lighting - 10

DIG SAFE 1-888-344-7233

SCALE: 1" = 20'



BERM CONSTRUCTION CRITERIA

- FOUNDATION PREPARATION:**
THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED BERM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS. FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.
- FILL PLACEMENT:**
THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.

THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF 8" MAXIMUM COURSES AND COMPACT TO 95% MODIFIED PROCTOR (ASTM D 1557). THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.

THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL:**
THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING 95% COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION:**
CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE 95% COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.
- PROTECTION:**
A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH AS MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION.

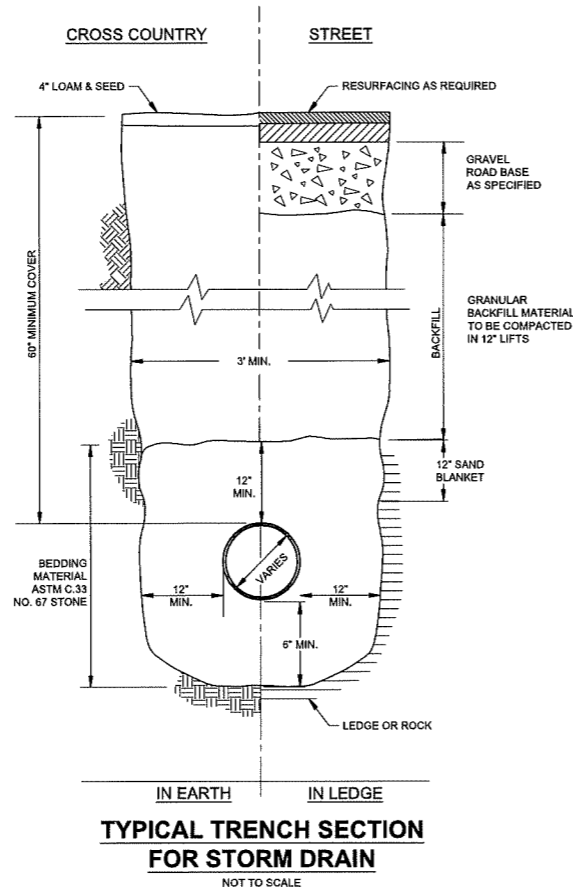
BERM MAINTENANCE

- BERM** - THE BERM SHALL BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- VEGETATION** - THE VEGETATED AREAS OF THE STRUCTURE SHALL BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHALL BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHALL BE KEPT OFF THE EMBANKMENT AREAS.
- INLETS** - INLETS SHALL BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHALL BE REMOVED.
- OUTLETS** - OUTLETS SHALL BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE OUTLET SHALL BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHALL BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
- SEDIMENT** - SEDIMENT SHALL BE CONTINUALLY CHECKED IN THE BASIN. ANY SEDIMENT THAT ACCUMULATES IN FRONT OF THE INLET SHALL BE REMOVED AND PROPERLY DISPOSED OF.

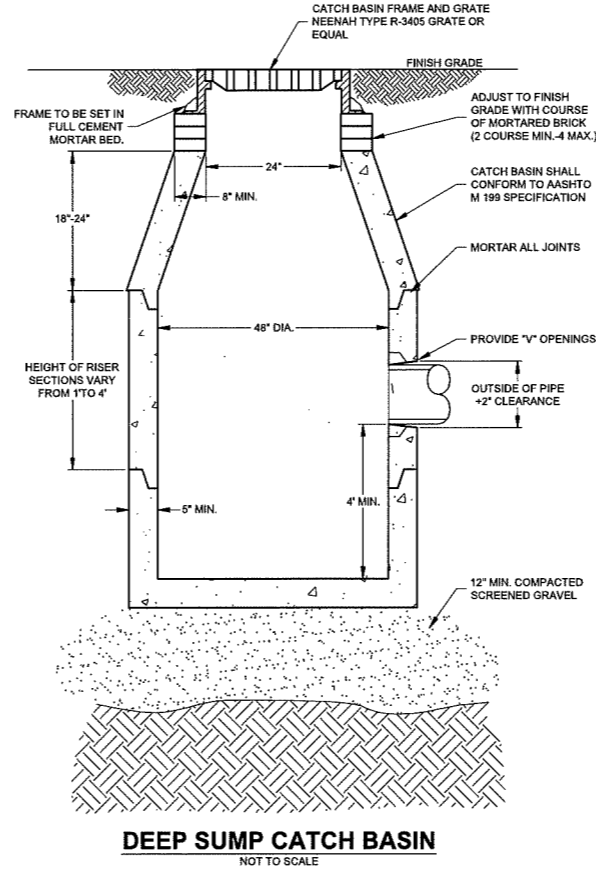
MAINTENANCE REQUIREMENTS:

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAINAGE TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

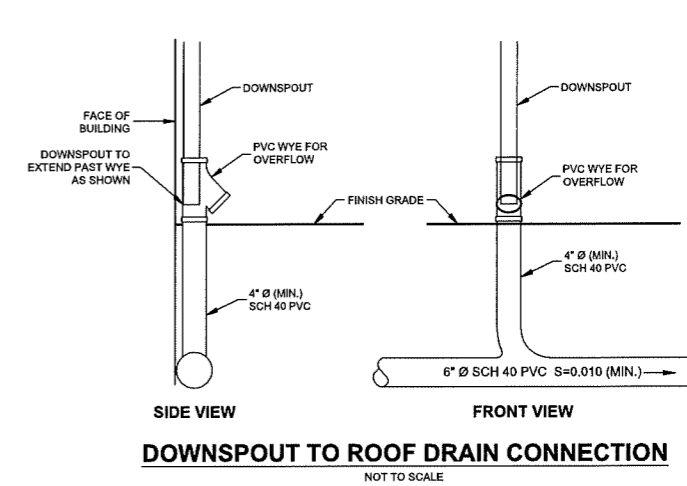
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	SIEVE NO.	GRADATION OF MATERIAL PERCENT BY WEIGHT PASSING STANDARD SIEVE
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH	20 TO 30	200	<5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15



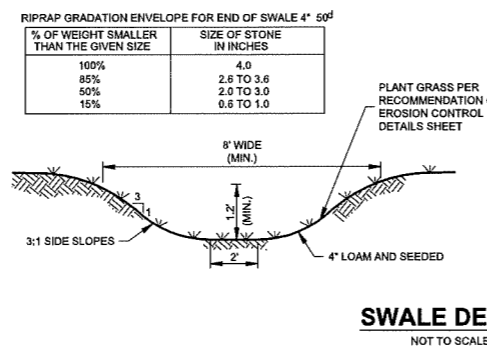
TYPICAL TRENCH SECTION FOR STORM DRAIN
NOT TO SCALE



DEEP SUMP CATCH BASIN
NOT TO SCALE



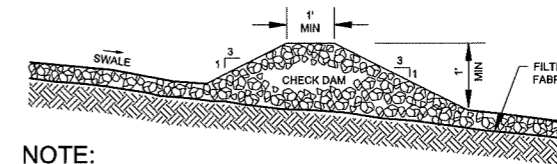
DOWNSPOUT TO ROOF DRAIN CONNECTION
NOT TO SCALE



SWALE DETAIL
NOT TO SCALE

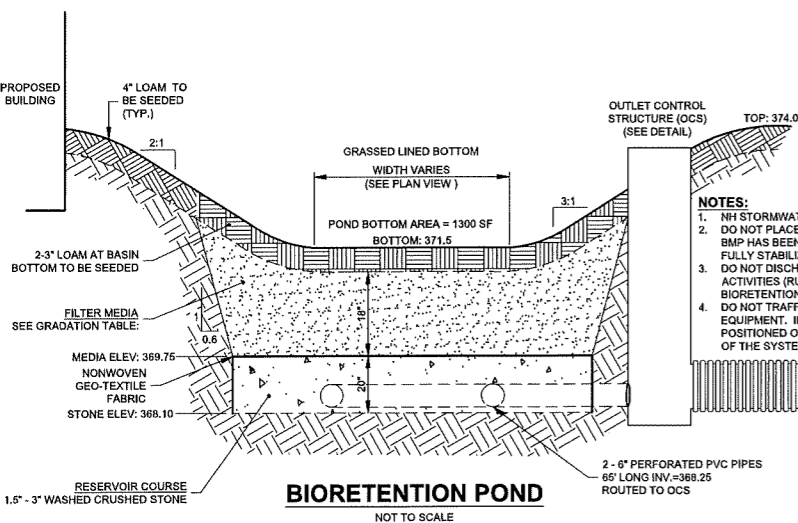
MAINTENANCE REQUIREMENTS:

- LAND OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF VEGETATED SWALE.
- INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATION, VEGETATION LOSS, AND PRESENCE OF INVASIVE SPECIES.
- PERFORM PERIODIC MOWING; FREQUENCY DEPENDS ON LOCATION AND TYPE OF GRASS. DO NOT CUT SHORTER THAN 4 INCHES.
- REMOVE DEBRIS AND ACCUMULATED SEDIMENT, BASED ON INSPECTION.
- REPAIR ERODED AREA, REMOVE INVASIVE SPECIES AND DEAD VEGETATION, AND RESEED WITH APPLICABLE GRASS MIX AS WARRANTED BY INSPECTION.

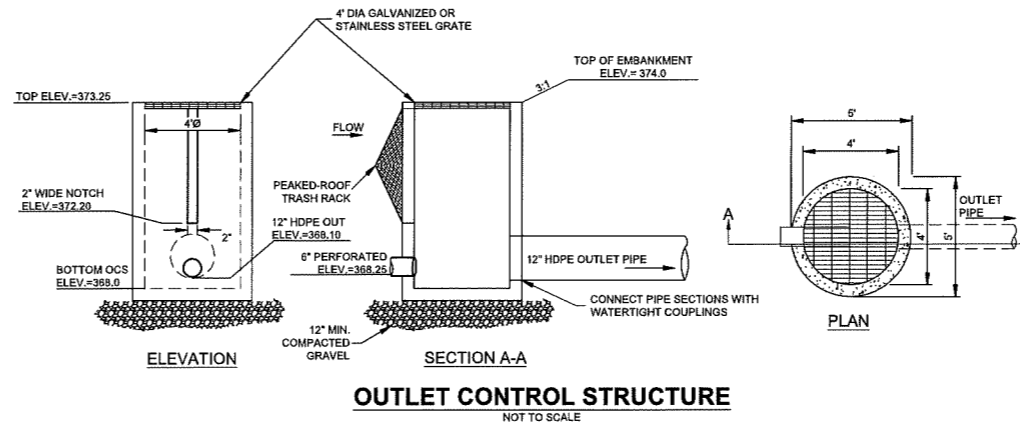


NOTE:
CHECK DAM STONES SHALL BE ANGULAR AND WELL GRADED:
MINIMUM STONE SIZE IS 2" DIAMETER
MAXIMUM STONE SIZE IS 3" DIAMETER

STONE CHECK DAM
NOT TO SCALE



BIORETENTION POND
NOT TO SCALE



OUTLET CONTROL STRUCTURE
NOT TO SCALE

No.	Revision	Date
1	TRC Comments: Add Check Dam Detail & Update Sheet Number	10/7/2022

Designed by: DMF Drawn by: CRN Checked by: DMF

Sheet 12 of 18 Scale: As Shown Date: 5/3/2022

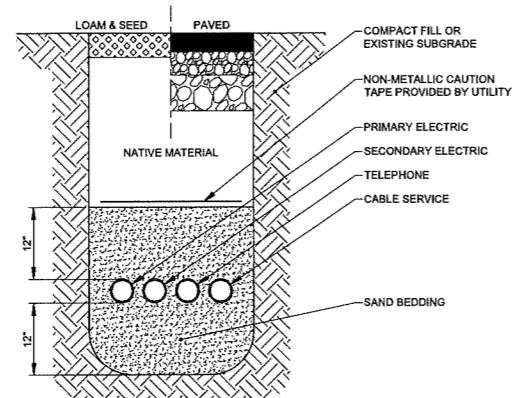
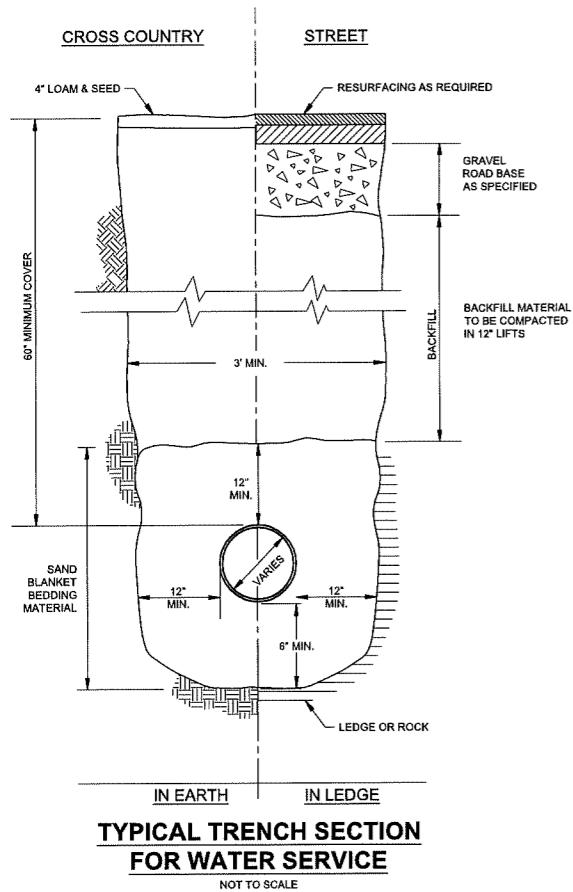
Construction Details
BC Industries LLC
 253 Rockingham Road
 Derry, NH
 Assessors Map 3 Lot 34

SFC ENGINEERING

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 Windham, NH 03087 (603) 647-8700
 www.sfceng.com

Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

Zoning Classification: General Commercial IV - GC4



NOTES:

1. ALL FILL MATERIAL TO BE PLACED IN LIFTS NO GREATER THAN 12 INCHES.
2. ALL FILL MATERIAL TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
3. MINIMUM COVER OF THREE FEET IS REQUIRED FOR ALL CONDUIT PIPES, UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
4. CONDUIT SIZE, MATERIAL, AND INSTALLATION TO MEET UTILITY COMPANIES STANDARD SPECIFICATIONS.
5. MINIMUM TRENCH WIDTH SHALL ALLOW FOR A MINIMUM OF 6 INCH CLEARANCE FROM TRENCH SIDE WALLS.

TRACE WIRE NOTES:

THE TRACER WIRE SHALL BE INSTALLED ON TOP OF THE BURIED UTILITY CROWN. THE TRACER WIRE SHALL BE POSITIVELY ATTACHED TO THE NON-METALLIC BURIED UTILITIES BY PLASTIC WIRE TIES OR SIMILAR TYPE OF ATTACHMENT EVERY 10 FEET FOR STRAIGHT RUN OF UTILITY AND AT ALL CHANGES OF DIRECTION. IF TAPE IS USED IT SHALL BE POLYKEN '930-35,' PROTECTO-WRAP '310,' OR EQUAL. THE TERMINATION ENDS OF THE TRACER WIRE SHALL BE GROUNDED WITH 7 LB. OR LARGER ANODE BAGS WITH THE CONNECTORS HEREIN SPECIFIED.

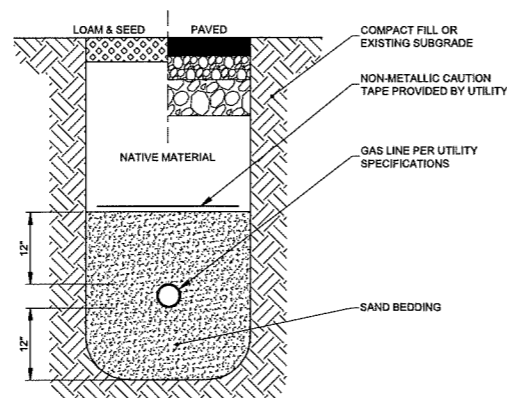
INSTALL APPROVED CAST IRON VALVE BOXES AT ALL LOCATIONS WHERE THE ENDS OF THE TRACER WIRE ARE EXPOSED ABOVE THE FINISHED GRADE. THE BOXES SHALL CONTAIN A 24' COIL OF WIRE FROM EACH END OF THE TRACER WIRE.

TRACER WIRE SHALL BE CONTINUOUS BETWEEN BOXES AND SHALL BE TESTED FOR CONTINUITY IN THE PRESENCE OF THE INSPECTOR.

TRACER WIRE SHALL BE MINIMUM NO. 12 AWG, COPPER WIRE OR COPPER CLAD STEEL HIGH STRENGTH WITH A MINIMUM 450 LB. BREAK LOAD WITH A MINIMUM 30 MIL HDPE INSULATION THICKNESS (BLUE IN COLOR FOR USE WITH POTABLE WATER, GREEN FOR USE WITH SEWER).

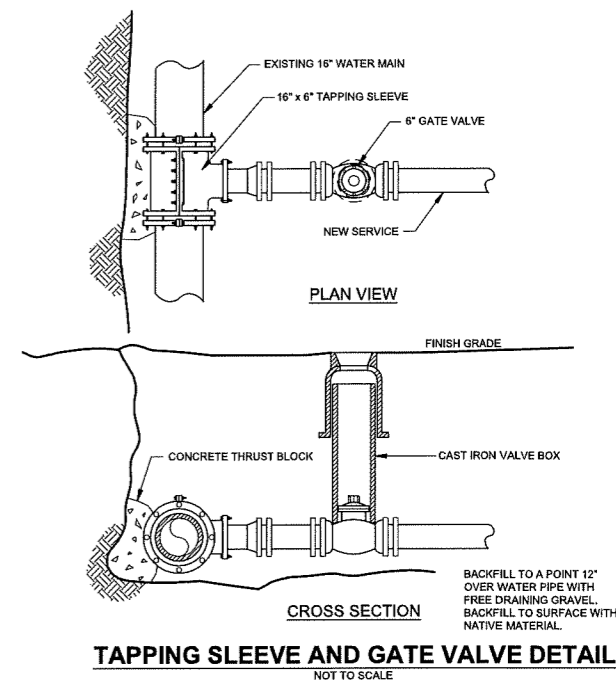
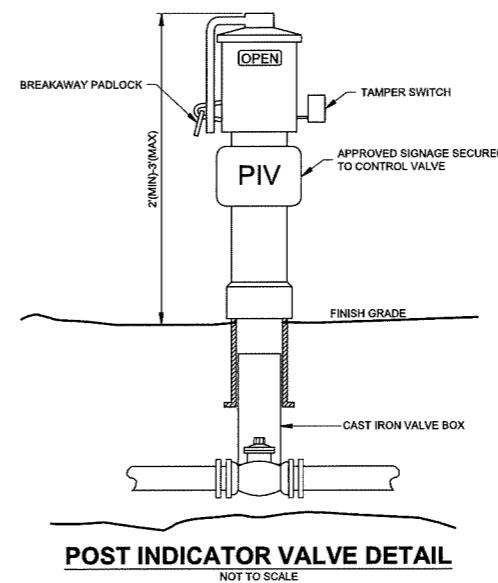
CONNECTORS SHALL BE COPPERHEAD SNAKEBITE, 3M DBR OR DRY-CON TYPE CONNECTORS FOR SPECIFIED WIRE GAGE AND SUITABLE FOR USE WITH BURIED TRACER WIRE.

UTILITY TRENCH
NOT TO SCALE

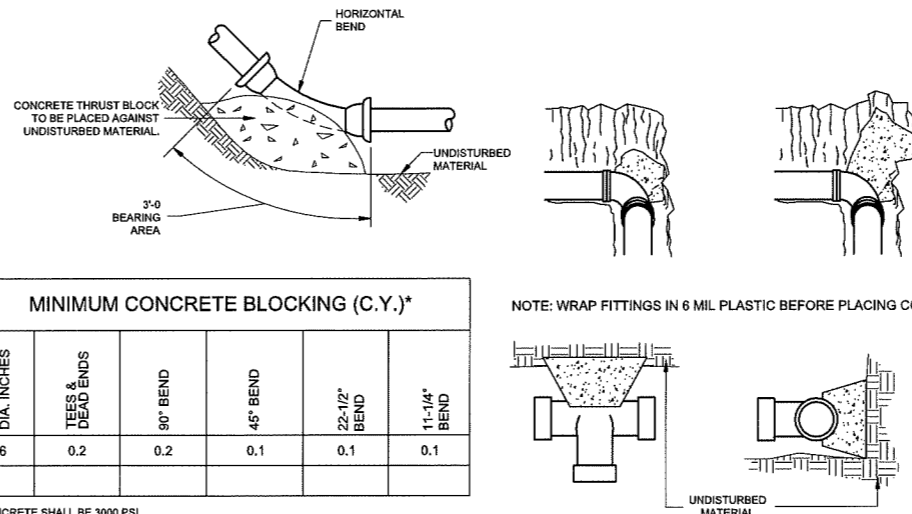


NOTES:

1. ALL FILL MATERIAL TO BE PLACED IN LIFTS NO GREATER THAN 12 INCHES.
2. ALL FILL MATERIAL TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
3. MINIMUM COVER OF 30" IS REQUIRED.
4. SIZE, MATERIAL, AND INSTALLATION TO MEET GAS COMPANIES STANDARD SPECIFICATIONS.
5. MINIMUM TRENCH WIDTH SHALL ALLOW FOR A MINIMUM OF 6 INCH CLEARANCE FROM TRENCH SIDE WALLS.



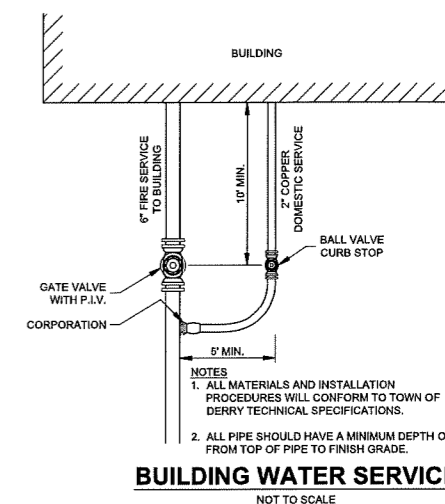
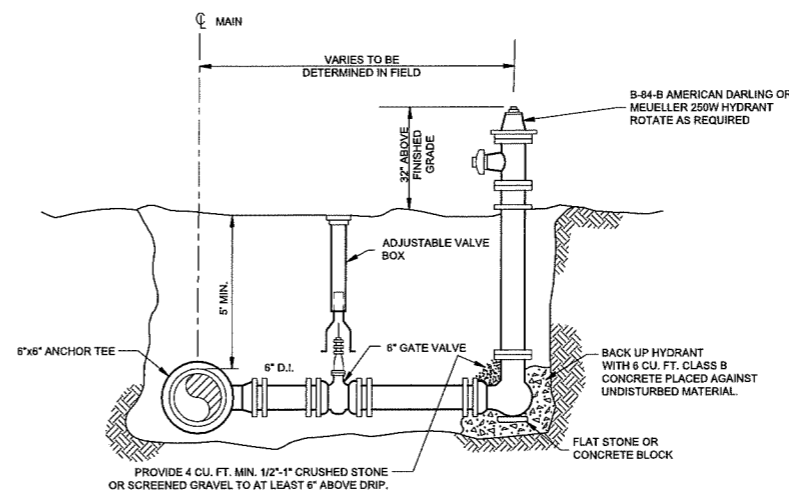
TAPPING SLEEVE AND GATE VALVE DETAIL
NOT TO SCALE



MINIMUM CONCRETE BLOCKING (C.Y.)*					
NOM. PIPE DIA. INCHES	TEES & DEAD ENDS	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND
6	0.2	0.2	0.1	0.1	0.1

* CONCRETE SHALL BE 3000 PSI

THRUST BLOCK DETAIL
NOT TO SCALE



1	TRC Comments: Update Sheet Number & Add Hydrant Note	10/7/2022
No.	Revision	Date
Designed by: JRB		Drawn by: CRN
		Checked by: DMF

Construction Details
BC Industries LLC
 253 Rockingham Road
 Derry, NH
 Assessors Map 3 Lot 34

SFC ENGINEERING

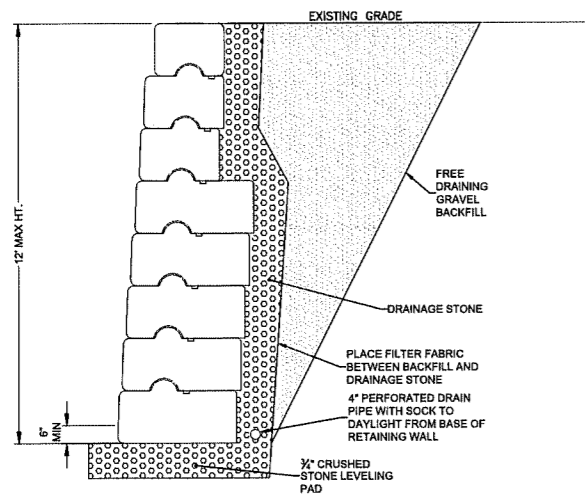
183 Rockingham Rd, Unit 3 East
 Windham, NH 03087 (603) 647-8700
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Sheet 13 of 18 Scale: As Shown Date: 5/3/2022

Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

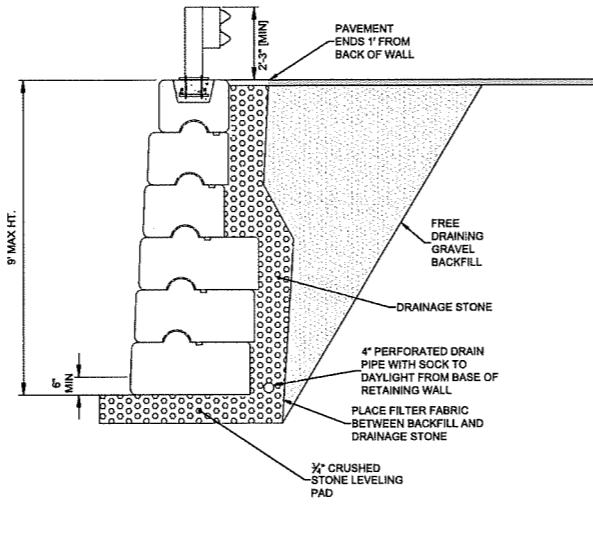
Zoning Classification: General Commercial IV - GC4

STATE OF NEW HAMPSHIRE
 DANIEL M. FLORES
 No. 15761
 PROFESSIONAL ENGINEER



TYPICAL RETAINING WALL SECTION

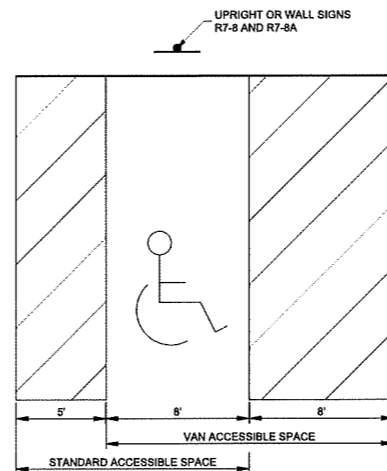
NOT TO SCALE
TO BE DESIGNED BY OTHERS



NOTE: GUARDRAIL SHOWN. GUARDRAIL CAN BE SUBSTITUTED WITH FORCE PROTECTION WALL IF APPROVED BY ENGINEER

TYPICAL RETAINING WALL SECTION WITH GUARDRAIL

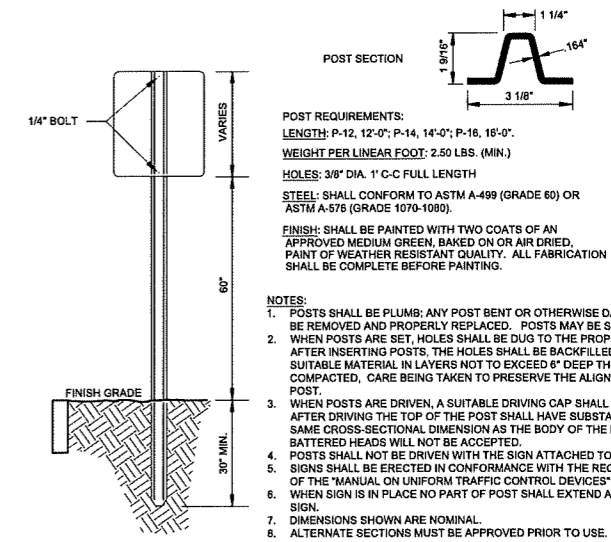
NOT TO SCALE
TO BE DESIGNED BY OTHERS



- NOTES:**
1. ALL DIMENSIONS TO CENTER OF STRIPING.
 2. ALL STRIPING SHALL BE 4" SOLID YELLOW OR WHITE PAVEMENT MARKING PAINT.
 3. ONE IN EVERY SIX ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE "VAN ACCESSIBLE".
 4. SEE SITE DEVELOPMENT PLAN FOR LOCATION AND CONFIGURATION OF ACCESSIBLE SPACES.
 5. MAXIMUM 2% SLOPE SHALL BE MAINTAINED ACROSS ENTIRE ACCESSIBLE AREA.

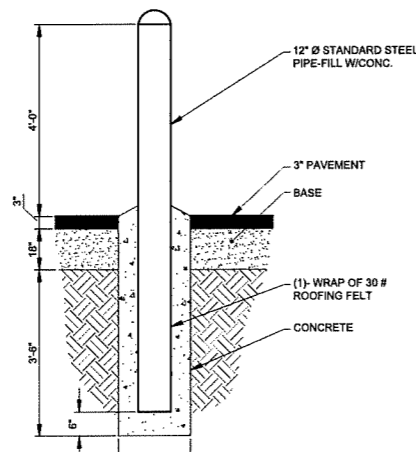
ACCESSIBLE PARKING SPACE

NOT TO SCALE



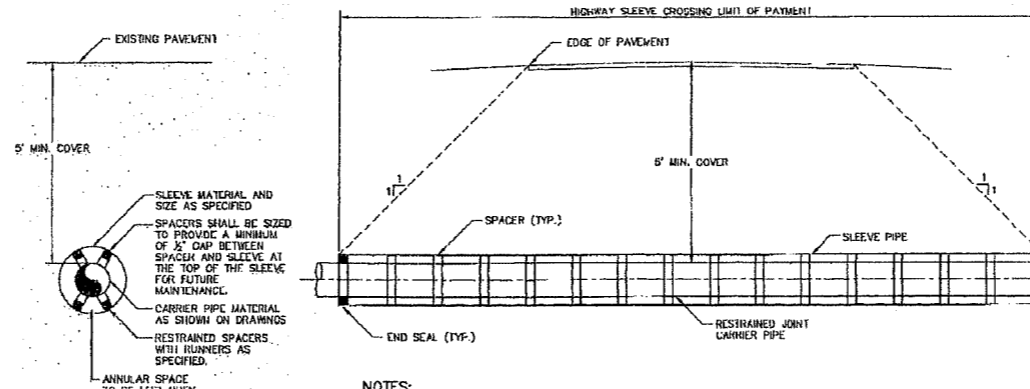
SIGN INSTALLATION DETAIL

NOT TO SCALE



BOLLARD

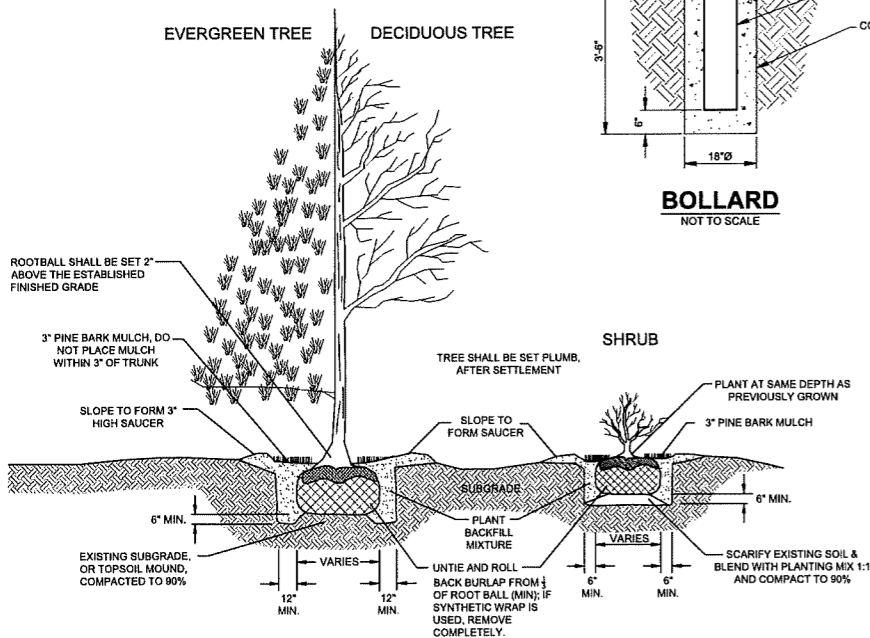
NOT TO SCALE



HIGHWAY CROSSING SLEEVE DETAIL

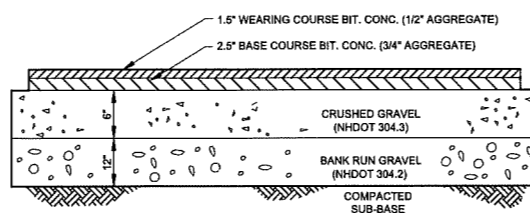
NOT TO SCALE

- NOTES:**
1. FOR NON-GRAVITY CARRIER PIPE INSTALLATIONS, PROVIDE CENTERED SPACERS.
 2. FOR GRAVITY CARRIER PIPE INSTALLATIONS (I.E. SEWER), SPACERS MAY BE A MIXTURE OF CENTERED AND NON-CENTERED TO ALLOW THE GRAVITY CARRIER PIPE TO BE INSTALLED AT A CONSTANT SLOPE AS SHOWN ON THE DRAWINGS.
 3. SEE SPECIFICATION SECTION 02548 FOR ADDITIONAL INFORMATION ON THE SLEEVE ASSEMBLY, SPACERS, AND END SEALS. (SEE DERRY ENGINEERING STANDARDS)
 4. MAXIMUM SPACER INTERVAL SHALL BE AS RECOMMENDED BY THE MANUFACTURER.
 5. SLEEVE END SEALS SHALL BE INSTALLED AT EACH END AND ARE TO BE LINK-SEAL TYPE.
 6. ALL SLEEVES SHALL BE DR-17 HDPE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE DRAWINGS.



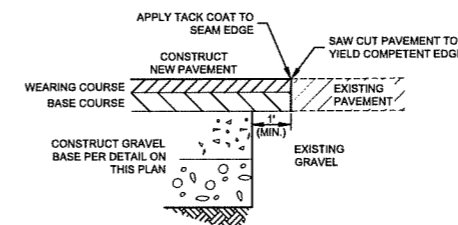
PLANTING DETAILS - TREES AND SHRUBS

NOT TO SCALE



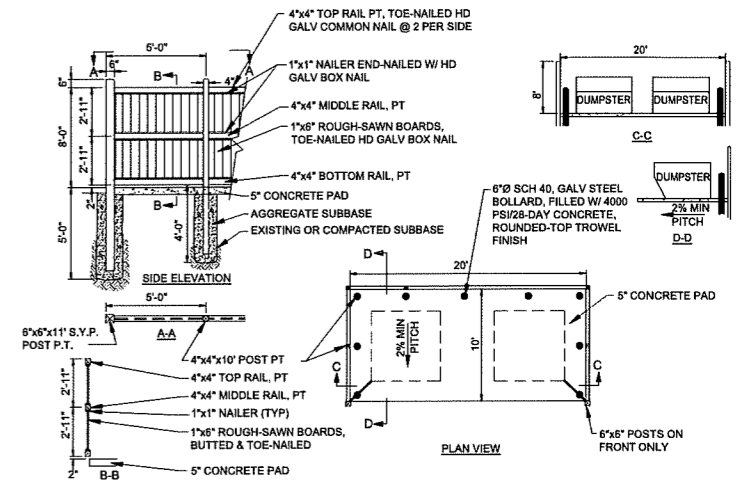
STANDARD PAVEMENT DETAIL

NOT TO SCALE



PAVEMENT SAWCUT JOINT DETAIL

NOT TO SCALE



DUMPSTER PAD AND ENCLOSURE

NOT TO SCALE

1	TRC Comments: Add Bollard & Sleeve Details, Update Sheet Number	10/7/2022
No.	Revision	Date
Designed by: DMF		Drawn by: CRN
		Checked by: DMF

Construction Details
BC Industries LLC
 253 Rockingham Road
 Derry, NH
 Assessors Map 3 Lot 34

SFC ENGINEERING

183 Rockingham Rd, Unit 3 East
 Windham, NH 03087

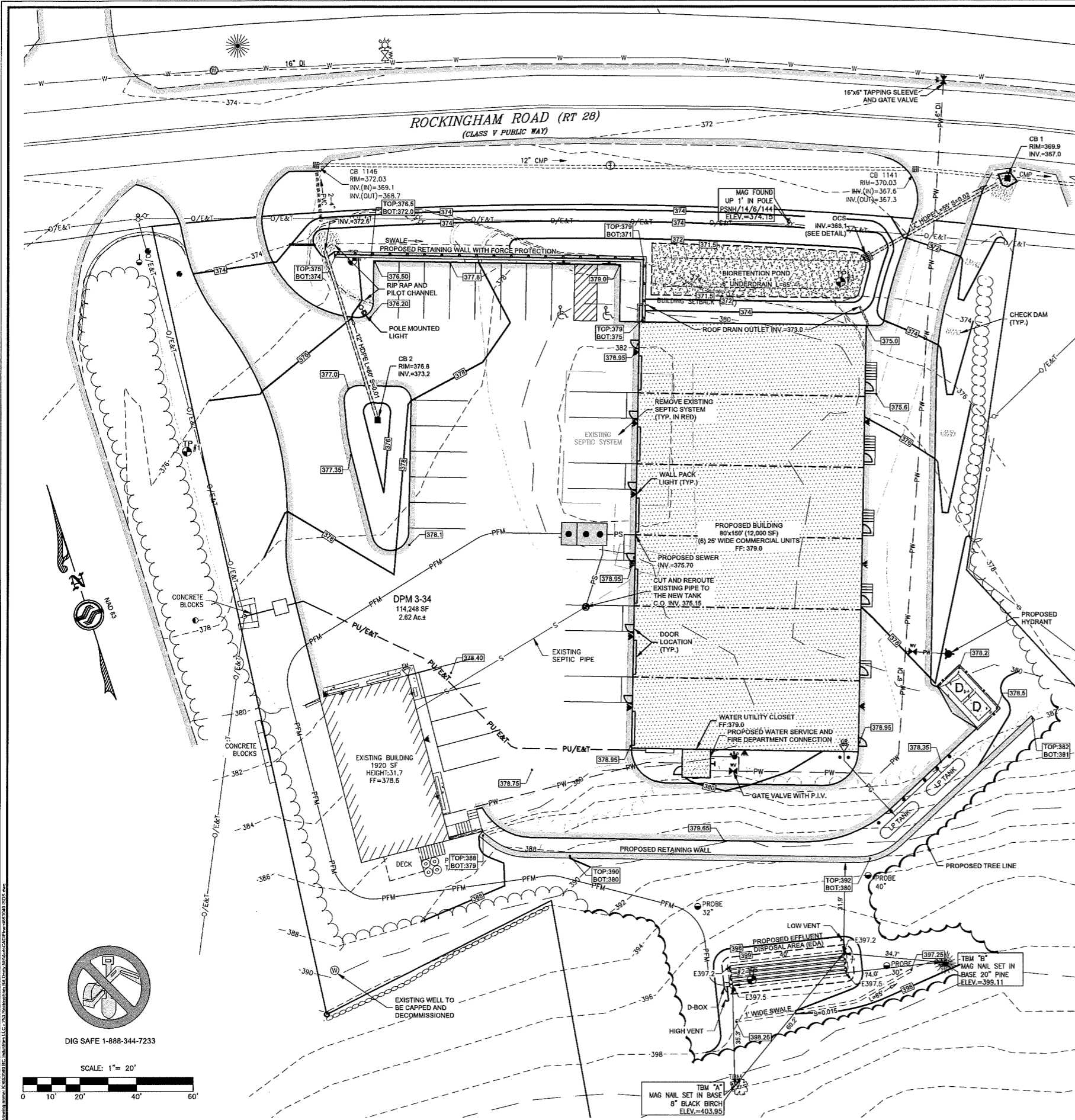
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Sheet 14 of 18 Scale: As Shown Date: 5/3/2022

Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

Zoning Classification: General Commercial IV - GC4

DANIEL M. FLORES
 No. 15761
 PROFESSIONAL ENGINEER



GENERAL DESIGN NOTES:

- ENVIRO-SEPTIC WASTEWATER TREATMENT SYSTEMS ARE APPROVED BY NHDES AS ITA IN ACCORDANCE WITH PART ENR-WQ 1024. THE SYSTEM IS DESIGNED IN ACCORDANCE WITH THE ENVIRO-SEPTIC WASTEWATER TREATMENT SYSTEMS DESIGN AND INSTALLATION MANUAL NEW HAMPSHIRE STATE ATTACHMENT.
- SYSTEM TO BE INSTALLED IN ACCORDANCE WITH PRODUCT DESIGN AND INSTALLATION MANUAL, STATE AND LOCAL REGULATIONS. FOR PRODUCT INFORMATION OR THE NEAREST DEALER CONTACT PRESBY ENVIRONMENTAL, INC. 143 AIRPORT ROAD, WHITEFIELD, NH 03598, PHONE 1-800-473-5298.
- SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH ENV-WQ 1000. "APPROVAL FOR CONSTRUCTION" IS VALID FOR 4 YEARS FROM DATE OF ISSUE.
- INFORMATION REGARDING THE EXISTING CONDITIONS IS FOR GUIDANCE ONLY AND IS NOT INTENDED TO REPRESENT ALL FIELD CONDITIONS. ALL INFORMATION, UTILITIES AND DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. INSTALLER SHALL CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES OR UNUSUAL CONDITIONS SHALL BE REPORTED TO THE DESIGNER BEFORE CONTINUING WITH THE INSTALLATION.
- THIS DOCUMENT IS FOR THE CONSTRUCTION OF THE EFFLUENT DISPOSAL SYSTEM SHOWN. ANYONE USING INFORMATION FROM THIS DOCUMENT FOR ANY OTHER PURPOSE DOES SO AT THEIR OWN RISK.
- ALL CONCRETE PRODUCTS USED IN DESIGN ARE BY PHEONIX PRECAST PRODUCTS, OR APPROVED BY DESIGNER.
- PROVIDE MEASURED TIES TO OWNER, ON THE LOCATION OF SEPTIC TANK ACCESS POINTS.
- ALL PIPE CONNECTIONS TO THE SEPTIC TANK, D-BOX, ETC. TO BE SEALED AGAINST LEAKAGE WITH A NON-SHRINK MORTAR. ALL SEPTIC TANK ACCESS OPENINGS AND OTHER JOINTS SHALL BE SEALED WITH A BITUMINOUS OR BUTYL GASKET OR SEALANT. THE INTENT IS TO SEAL TANK AND ACCESS STACKS AGAINST GROUND WATER INFILTRATION. ROOF TAR IS NOT SUITABLE.
- ENR-WQ 1023 01 SEPTIC TANK INSPECTION AND PUMPING REQUIREMENTS:
 - (A) SEPTIC TANKS SHALL BE INSPECTED FOR ACCUMULATION OF SLUDGE AND SURFACE SCUM AT A FREQUENCY SUFFICIENT TO ALLOW THE TANK TO BE PUMPED BY A LICENSED SEPTAGE HAULER WHEN THE COMBINED THICKNESS OF THE SLUDGE AND SURFACE SCUM EQUAL 1/3 OR MORE OF THE TANK DEPTH.
 - (B) FOR ANY SEPTIC TANK HAVING CAST-IN CONCRETE BAFFLES SHALL BE:
 - 1) INSPECTED FOR STRUCTURAL INTEGRITY WHEN THE TANK IS INSPECTED PURSUANT TO (a), ABOVE; AND
 - 2) REPLACED IF NO LONGER FUNCTIONING AS REQUIRED.
 - (C) SEPTAGE AND EFFLUENT SHALL BE DISCHARGED FROM A SEPTIC TANK ONLY TO:
 - 1) AN APPROVED OR GRANDFATHERED EFFLUENT DISPOSAL AREA; OR
 - 2) A LICENSED SEPTAGE HAULING VEHICLE.
- INLET AND OUTLET BAFFLES PER ENV-WQ 1010.07:
 - (A) EACH SEPTIC TANK SHALL HAVE AN INLET BAFFLE AND AN OUTLET BAFFLE THAT ARE:
 - 1) PLUMB AND LEVEL.
 - 2) SECURED TO THE INLET PIPE OR OUTLET PIPE, AS APPLICABLE, USING STAINLESS STEEL SCREWS; AND
 - 3) PLASTIC VENTED TEES THAT EXTEND ABOVE THE LIQUID LINE TO NOT LESS THAN 1 INCH FROM THE INTERIOR OF THE TOP OF THE SEPTIC TANK OR COVER.
 - (B) THE INLET BAFFLE SHALL:
 - 1) DIVERT THE INCOMING SEWAGE DOWNWARD; AND
 - 2) PENETRATE AT LEAST 8 INCHES BELOW THE LIQUID LEVEL, BUT IN NO CASE GREATER THAN THE DEPTH OF THE OUTLET BAFFLE.
 - (C) THE OUTLET BAFFLE SHALL EXTEND TO A DISTANCE BELOW THE SURFACE OF THE LIQUID EQUAL TO 40% THE LIQUID DEPTH.
- GARBAGE DISPOSALS, HOT TUBS, SAUNAS, DRAINS, WATER SOFTENER, ETC. SHALL NOT BE INCORPORATED INTO THIS SYSTEM UNLESS OTHERWISE SPECIFIED. NO TOXIC WASTE IS TO BE DISPOSED OF IN THIS SYSTEM.
- ALL GRAVITY COLLECTION LINES TO BE SDR35, EXCEPT WITHIN A PROTECTIVE WELL RADIUS, WHERE THEY MUST BE A MINIMUM OF SDR26. ALL PIPE JOINTS SHALL BE GASKETED BELL TYPE.
- PRESBY SYSTEM SAND NOTE: SHALL BE CLEAN GRANULUM SHALL BE CLEAN BANK RUN SAND, FREE OF TOPSOIL, OR HUMUS, DREDDINGS, OR STONES MORE THAN 8 INCHES IN ANY DIMENSION. FILL SHALL NOT BE OF SATURATED SOIL.

SILOE SIZE	PERCENT RETAINED ON SIEVE (BY WEIGHT)
3/4 IN. (19mm)	0
#10 (2 mm)	0 - 35
#35 (0.50 mm)	40 - 90

NOTE: NOT MORE THAN 3% ALLOWED TO PASS #200 SIEVE (VERIFIED BY WASHING SAMPLE PER REQUIREMENTS OF ASTM C-117).

ASTM C-33 (CONCRETE SAND), NATURAL OR MANUFACTURED SAND, WITH NOT MORE THAN 3% PASSING THE #200 SIEVE (VERIFIED BY WASHING THE SAMPLE PER THE REQUIREMENTS OF ASTM C-117 AS NOTED IN THE ASTM C-33 SPECIFICATION) MAY BE USED AS AN ACCEPTABLE ALTERNATIVE MATERIAL FOR USE AS SYSTEM SAND.

- FILL NOTE: FILL REQUIRED TO RAISE THE EDA TO THE APPROVED DISTANCE ABOVE THE SEASONAL HIGH GROUND WATER TABLE OR IMPROVISED SUBSTRATUM SHALL BE CLEAN BANK RUN SAND, FREE OF TOPSOIL, OR HUMUS, DREDDINGS, OR STONES MORE THAN 8 INCHES IN ANY DIMENSION. FILL SHALL NOT BE OF SATURATED SOIL.
- CONTRACTOR TO PROTECT BASE ELEVATION AREAS FROM SILTATION DURING CONSTRUCTION. DO NOT INSTALL SYSTEM ON FROZEN GROUND OR LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME.
- THERE SHALL BE A MINIMUM OF 6" OF LOAM SUITABLE FOR SEEDING AND PROPER STABILIZATION OF ALL AREAS DISTURBED DURING CONSTRUCTION THAT WILL NOT BE PAVED.
- THIS SYSTEM IS NOT DESIGNED FOR VEHICULAR LOADING.

SOIL DATA

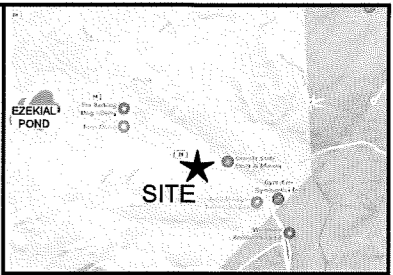
TP# 2 1/14/2022

DEPTH	SOIL TYPE
0-14"	10YR 3/2 LOAM, MOIST MASSIVE, LOOSE
14-36"	10YR 4/6 SANDY LOAM MOIST, MASSIVE, FRIABLE IN PLACE
36-40"	LEDGE, VARIES

ESHW: > 35"
 OBS. WATER: N/O
 REFUSAL: 35-40"
 %STONES/BLDRS: 2/0
 REST. LAYER: 35-40"
 ROOTS: 30"

PERC TEST

RATE	10 MIN/INCH
DEPTH	26"
DATE	1/14/2022
DESIGN AT	10 MIN/INCH



LOCATION PLAN
 PREPARED FROM: BING MAPS
 SCALE: 1" = 2000 FEET

NOTES

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE DESIGN OF AN ENVIRO-SEPTIC INDIVIDUAL SEWAGE DISPOSAL SYSTEM TO SUPPORT CONTRACTOR USE ON DERRY TAX MAP 3 LOT 34 CONSISTING OF 2.62 ACRES.
- THE OWNER OF RECORD: BC INDUSTRIES LLC DEED REFERENCE BOOK 5691 PAGE 2861, ROCKINGHAM COUNTY REGISTRY OF DEEDS
- THIS PLAN SHOWS CONDITIONS AS DEFINED BY INSTRUMENT FIELD SURVEY ON 10/29/2021. PROPERTY BOUNDARY IS APPROXIMATE AND FROM THE PLAN OF REFERENCE AND MONUMENTATION LOCATED IN THE FIELD. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY BY SFC ENGINEERING PARTNERSHIP, INC.
- NO PORTION OF THIS PARCEL IS LOCATED WITHIN A FLOOD HAZARD AREA AS INTERPRETED FROM THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF DERRY, COMMUNITY-PANEL NUMBER 33015C0532E. EFFECTIVE DATE: 5/17/2005 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- BENCHMARK: CHC SURVEY GRADE GPS VERTICAL DATUM: NAVD 83 HORIZONTAL DATUM: NAD 83
- UNDERGROUND UTILITIES, IF SHOWN, ARE APPROXIMATE. SFC DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION PER STATE LAW.
- TEST PITS WERE OBSERVED BY SFC ENGINEERING ON JANUARY 14, 2022.
- PREDOMINANT SOIL TYPE ON LOT IS CHATFIELD HOLLIS CANTON COMPLEX AS SHOWN ON THE NRCS WEB SOIL SURVEY.
- THERE ARE NO JURISDICTIONAL WETLANDS WITHIN 75' OF THE PROPOSED EFFLUENT DISPOSAL AREA (EDA) LOCATION.

DESIGN FLOW:

GARAGE/ WAREHOUSE WITHOUT CAFETERIA OR SHOWERS
 10 GPD/EMPLOYEE X 21 EMPLOYEES = 210 GPD (300 GPD MIN)

SIZE ENVIRO-SEPTIC LEACH FIELD:

REQUIRED: 180 LF FOR COMMERCIAL USE AT A PERC RATE OF 10 MIN/IN PROVIDED: (5) ENVIRO-SEPTIC PIPES, 40 LONG EACH SPACED 1.5' ON CENTER = 200 LF

SIZE SEPTIC TANK:

REQUIRED: PER ENV-WQ 1000.03, TABLE 1008-1, GARAGE/ WAREHOUSE WITHOUT CAFETERIAS OR SHOWERS REQUIRES A DESIGN FLOW OF 300 GPD. PROVIDED: 1,750 GALLON H2O CONCRETE

DESIGN INTENT:

THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (EDS) SHALL BE CONSTRUCTED AT 397.0' ELEVATION. THIS IS APPROXIMATELY 0.5' BELOW ORIGINAL GROUND ON THE HIGH CONTOUR OF THE DESIGNED EFFLUENT DISPOSAL SYSTEM.

No.	Revision	Date
1	TRC Comments: Update Sheet Number	10/7/2022

Designed by: JRB Drawn by: CRN Checked by: DMF

ISDS Plan
BC Industries LLC
 253 Rockingham Road
 Derry, NH
 Assessors Map 3 Lot 34

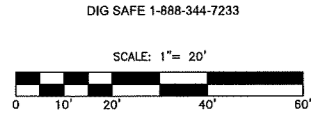
SFC ENGINEERING

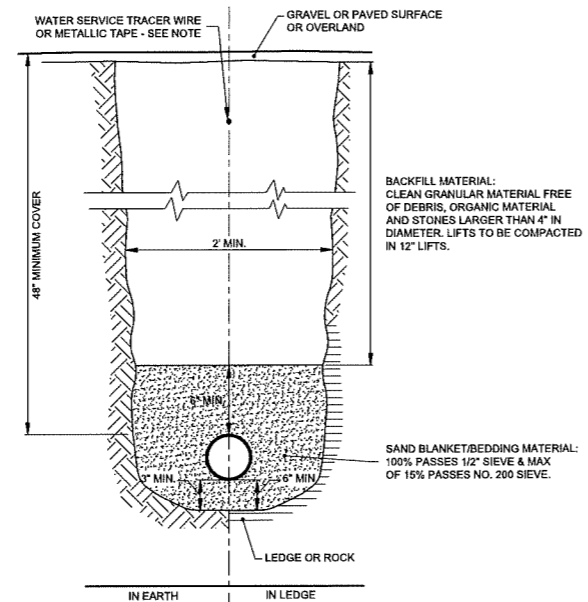
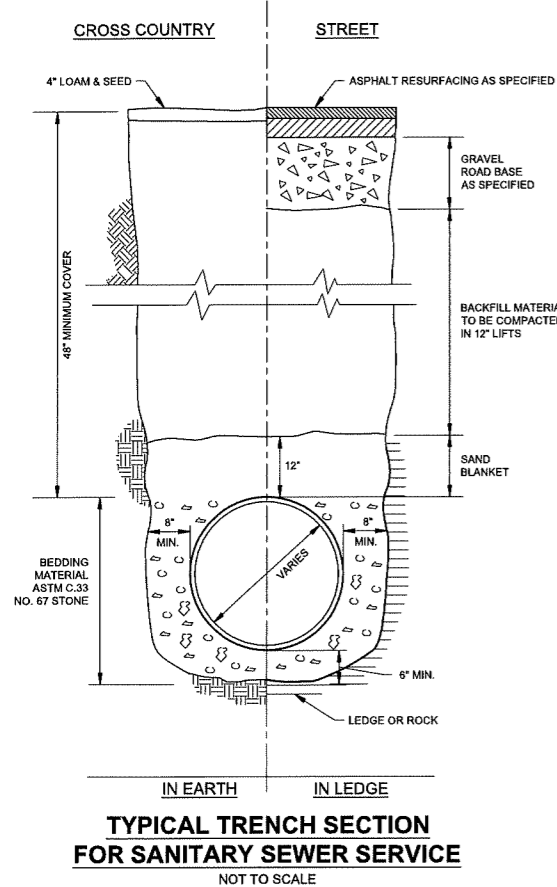
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Sheet 15 of 18 Scale: 1" = 20' Date: 5/3/2022

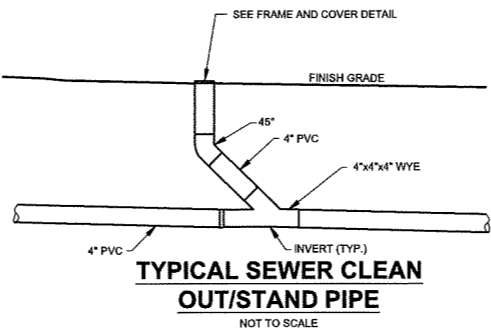
Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

Zoning Classification: General Commercial IV - GC4

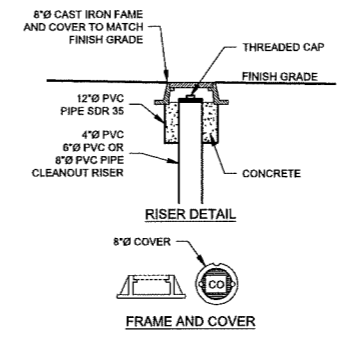




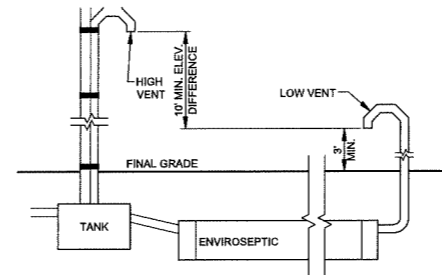
NOTE:
 1. 10 GAUGE TRACER WIRE OR 6\"/>



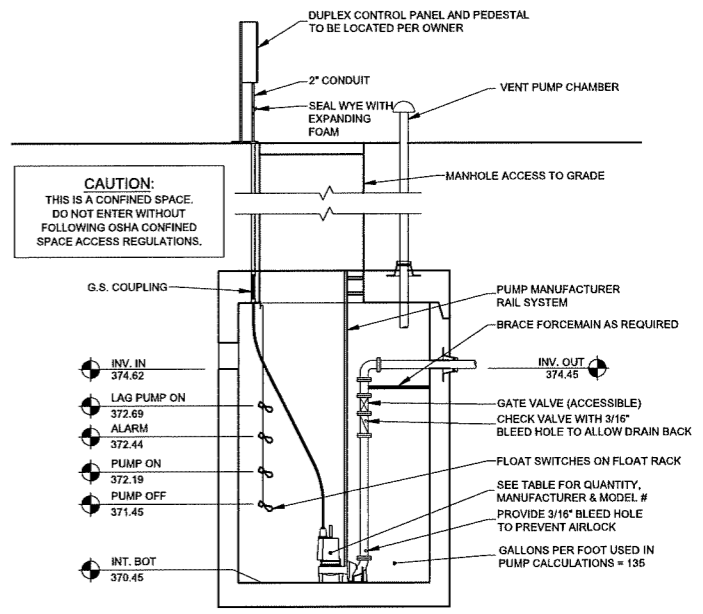
TYPICAL SEWER CLEAN OUT/STAND PIPE
NOT TO SCALE



CLEANOUT FRAME & COVER DETAIL
NOT TO SCALE



DIFFERENTIAL VENTING DETAIL
NOT TO SCALE



CAUTION:
 THIS IS A CONFINED SPACE. DO NOT ENTER WITHOUT FOLLOWING OSHA CONFINED SPACE ACCESS REGULATIONS.

NOTES:
 1. DO NOT DIRECT FLOW TO PUMP SWITCHES.
 2. ACCESS COVERS TO BE WATER TIGHT.
 3. ALL ELECTRICAL PENETRATIONS TO BE SEALED TO PREVENT BOTH WATER INFILTRATION AND CONVEYANCE OF ODOR.

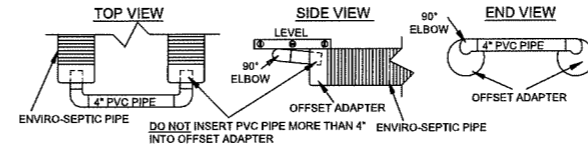
PUMP DESIGN:
 MODEL PPEF011-B BY ORENCO SYSTEMS
 4/10 HP, 115 VOLT, SINGLE PHASE, 8.1 MAX AMPS
 AVAILABLE FROM WATER INDUSTRIES, ALTON, NH

STATIC HEAD = 27.55'
 FRICTION LOSS = 1.54'
 TOTAL HEAD = 29.09'

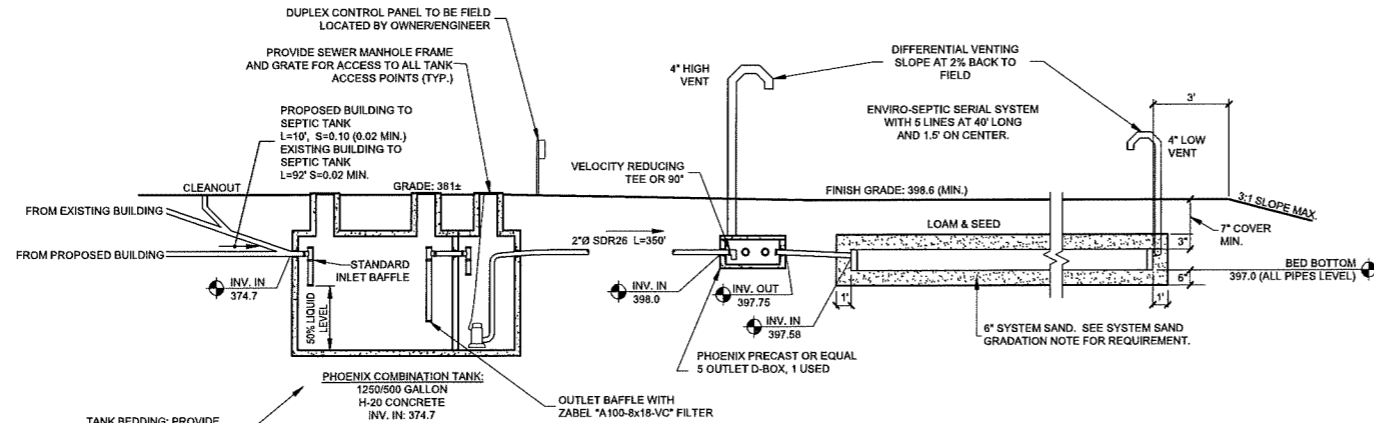
CALCULATED PERFORMANCE = 15 GPM
 VELOCITY = 2.12 FPS
 SET PUMP ON TO PROVIDE 3 DOSES PER DAY AT 100 GALLONS EACH
 ESTIMATES PUMP RUN TIME PER DOSE = 6.7 MINUTES

PUMP SYSTEM SPECIFICATIONS:
 1. USE SEWAGE PUMP ELECTRICAL CONTROL PANEL FOR DUPLEX PUMP OPERATION TO PROVIDE:
 a. PUMP OFF
 b. PUMP ON
 c. ALARM ON
 d. LAG PUMP ON
 AUDIO AND VISUAL ALARM TO BE INSTALLED AT CONTROL PANEL. CONTROLS AND DUPLEX PANEL SHALL BE RATED AS NEMA 4.
 2. USE PUMP MANUFACTURER FLOAT SWITCHES FOR PUMP OPERATION AS SHOWN IN DIAGRAM.
 3. CONTRACTOR TO FURNISH OWNER WITH TWO (2) OPERATION AND MAINTENANCE MANUALS PER PUMP MANUFACTURERS SPECIFICATIONS.

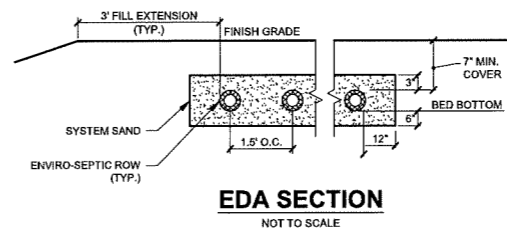
PUMP CHAMBER DETAIL
NOT TO SCALE



RAISED CONNECTION DETAIL
NOT TO SCALE



FLOW PROFILE
NOT TO SCALE



EDA SECTION
NOT TO SCALE

NOTES:
 1. SEPTIC TANK TO BE COATED WITH A SEALANT TO PREVENT INFILTRATION AND EXFILTRATION
 2. MAINTAIN 10\"/>

1	TRC Comments: Modify Details & Update Sheet Number	10/7/2022
No.	Revision	Date
Designed by: JRB		Drawn by: CRN
		Checked by: DMF

ISDS Details
BC Industries LLC
 253 Rockingham Road
 Derry, NH
 Assessors Map 3 Lot 34

SFC ENGINEERING

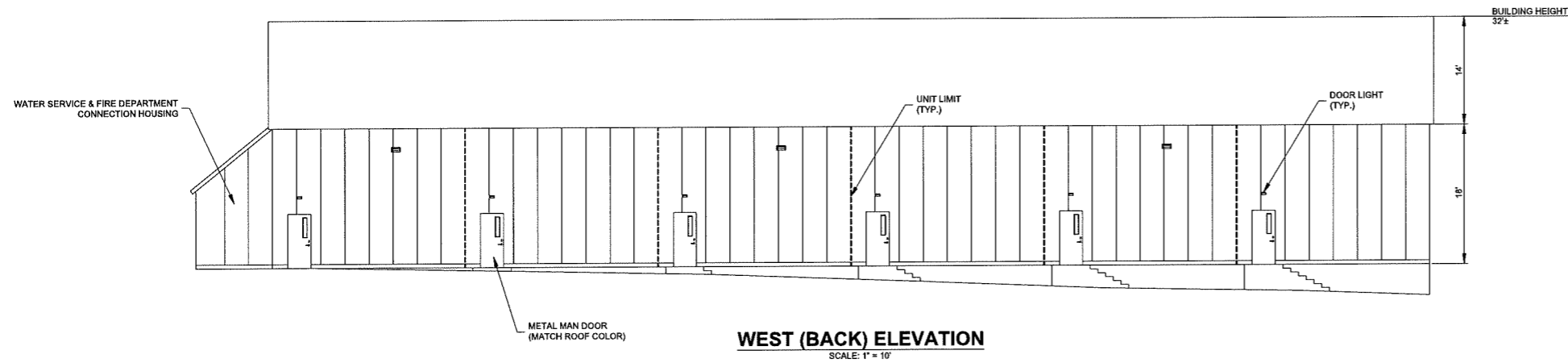
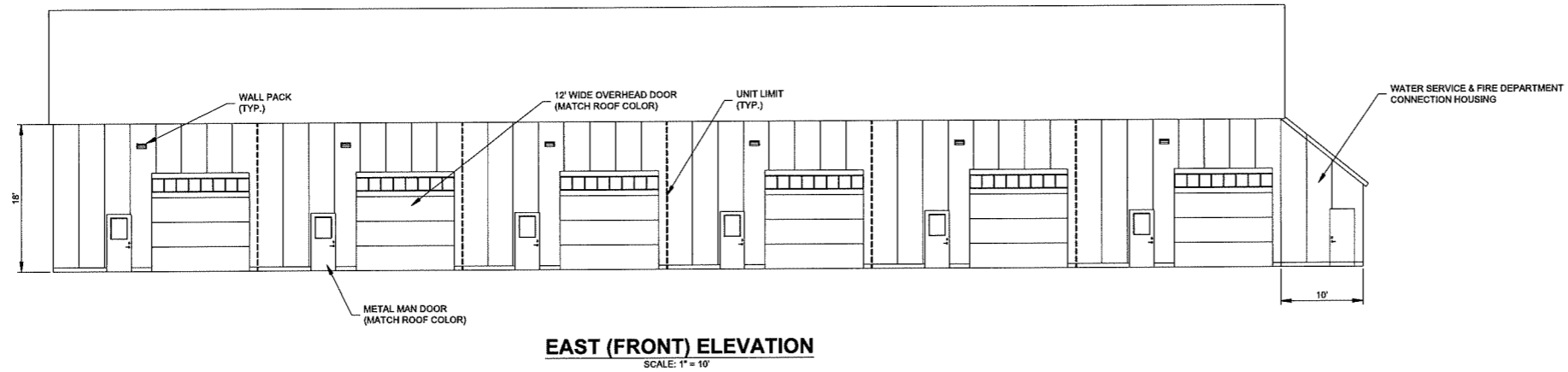
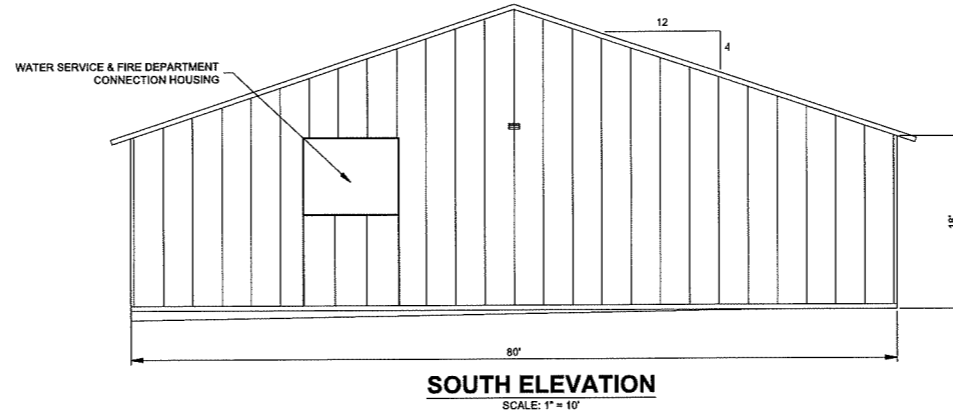
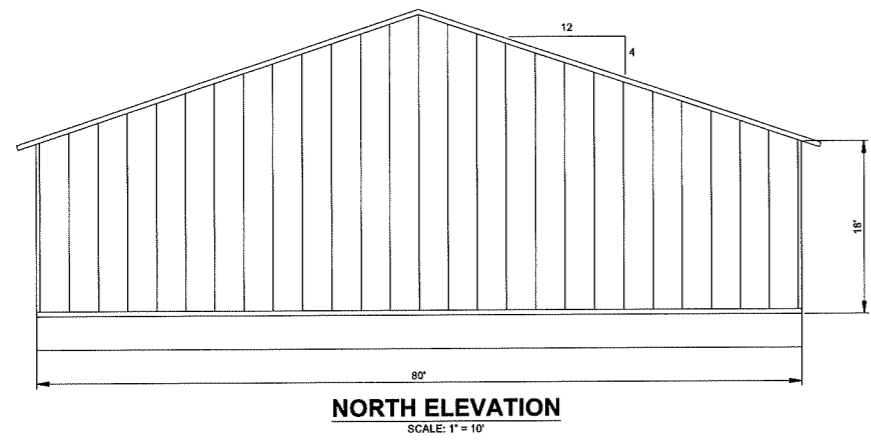
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Sheet 16 of 18 Scale: As Shown Date: 5/3/2022

Prepared for:
 BC Industries LLC
 16 South Range Road
 Derry, NH 03038

Zoning Classification: General Commercial IV - GC4

- NOTES**
1. THE PURPOSE OF THIS PLAN IS TO SHOW PRELIMINARY BUILDING ELEVATIONS FOR THE REDEVELOPMENT OF DERRY PROPERTY MAP 3 LOT 34 CONSISTING OF 2.82 AC.±.
 2. THE PROPOSED BUILDING WILL HOUSE 6 UNITS.



No.	Revision	Date
Designed by:	Drawn by: CRN	Checked by: DMF

Preliminary Building Elevations
BC Industries LLC
 253 Rockingham Road
 Derry, NH
 Assessors Map 3 Lot 34

183 Rockingham Rd, Unit 3 East
 Windham, NH 03087

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Sheet 18 of 18 Scale: As Shown Date: 10/7/2022

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